

GRAND COUNTY
Planning Commission
Monday, August 24th, 2020
4:00 P.M. Regular Meeting
VIRTUAL MEETING

****PLEASE NOTE: THIS MEETING WILL BE HELD REMOTELY****

Join via Zoom with Meeting ID: **821 9922 6635** and Password: **647367**
 Or call in to meeting: **253 215 8782** and when prompted, enter meeting ID and password.
 Send written comment to planning@grandcountytah.net or call 435-259-1368.

Type of Meeting: Regular Meeting
Facilitator: Emily Campbell, Chair
Attendees: Planning Commissioners, interested citizens, and staff

4:00 PM

| | | |
|------------------------|---|--------------------|
| | Regular Meeting | <i>Chair</i> |
| | Citizens to be Heard – public comment opportunity for any item not listed as a public hearing | <i>Chair</i> |
| | Ex Parte Communications and Disclosures | <i>Chair</i> |
| Action Item | Approval of Meeting Minutes from Aug 10th, 2020 | <i>Staff</i> |
| Discussion Item | Small Area Plan 313/191 | |
| | <ul style="list-style-type: none"> • Review Survey Results to Date • Planning Tools • County Council Workshop Agenda | <i>Chair/Staff</i> |
| | Planning Projects | |
| | | |

5:00 PM

| | | |
|--|--|--------------|
| | Citizens to be Heard – public comment opportunity for any item not listed as a public hearing | <i>Chair</i> |
| Public Hearing | Grand County Land Use Code updates to Article 4, Sections 4.7.6.B and 4.7.8.F, to simplify the required deed restriction and require expiration of of the Land Use Code in regards to the High Density Housing Overlay approval if building permits are not obtained within 24 months of recordation of the final plat for the project; Article 5, Section 5.4.1.A to add minimum lots sizes; and Article 9, Sections Sections 9.1.5, 9.1.8 (in its entirety), 9.2.5, 9.9 (title only), 9.9.1, 9.9.2, and 9.12, to clarify and update required public notice requirements, update the plat amendment process to be consistent with state law, provide a reasonable timeframe for response by Council to rezone applications, and to revise the Constitutional Takings review and appeal procedure to be consistent with state law. | |
| Action Item (Administrative) | All American Acres Lot 10 Preliminary Plat. 4401 Easy Street. Kay Sackman and Erik Hansen. Four lot subdivision and replat. | <i>Staff</i> |
| Action Item (Administrative) | Viewgate Terrace Phase 2 Preliminary Plat. 1248 S Hwy 191. Will Hansen. 4 lot HDHO Subdivision (approved) Preliminary Plat. | |

| | |
|--------------------------------------|----------------------------|
| Future Considerations | <i>Staff</i> |
| Recent Building Permit Review | <i>Staff</i> |
| County Council Action Items Report | <i>Staff</i> |
| County Council Update – Jaylyn Hawks | <i>Council Liaison</i> |
| ADJOURN | |

DEFINITIONS:

Public hearing = a hearing at which members of the public are provided a reasonable opportunity to comment on the subject of the hearing.

Public meeting= a meeting required to be open to the public pursuant to the requirements of Title 52, Chapter 4, Open and Public Meetings; the public may or may not be invited to participate.

Legislative act = action taken by the County Council or Planning Commission; amending ordinances, adopting general plan, Annexations, zoning and rezoning; a reasonable debatable action that could promote the general welfare of the community.

REGULAR PLANNING COMMISSION MEETING MINUTES
August 10, 2020

The Grand County Planning Commission held its regular meeting on the above date with all attendees participating remotely via Zoom.

YouTube recording of meeting can be viewed at
https://www.youtube.com/watch?v=k7c_uSxogaE

Recordings archived at www.grandcountyutah.net/AgendaCenter

In attendance: Planning Commissioners Emily Campbell, Rachel Nelson, Bryon Walston, Robert O'Brien, Kevin Walker, and Josie Kovash. County Council Liaison Jaylyn Hawks. Grand County Staff Mila Dunbar-Irwin and Olivia Holmes.

Commissioner Campbell officially calls the meeting to order at 4:01 pm

Citizens to be heard:

None

Ex Parte Communications and Conflict of Interest Disclosures:

No ex parte communications or disclosures from any Commissioners.

Approval of Meeting Minutes from July, 27 2020 Regular Meeting Minutes - Approved (2 min)

Discussion: Commissioner O'Brien to be added to the attendance and his name should be spelled with a capital "B". Commissioner O'Brien to be included in all the votes, all votes will state that they passed 7-0. Hideaway Estates should state "motion passed 7-0."

Motion and Vote: Commissioner Walker moved to approve the minutes with the above corrections from the July 27th, 2020 Planning Commission meeting. Commissioner O'Brien seconded. Motion passed 6-0 with Commissioners Walston, Nelson, Walker, O'Brien, Kovash and Campbell voting aye.

Discussion Item: Small Area Plan 313/191

Discussion: (6 min) Discussion led by Commissioner Campbell. The PC is currently working on the plan for the 313/191 area and may recommend possible updates to the land use table and/or potentially rezoning current parcels based on survey results. If it will be a rezoning effort, a resolution will need to be passed at County Council and notice made to the public.

Review Survey Results to Date: Staff presented on trends seen in survey responses to date. Survey will remain open for at least a month.

County Council Workshop Agenda: At the August 18th CC meeting, PC will address whether this is just a plan or if Land Use Code amendments and rezones of the Hwy 313/191 area should be considered. PC will present CC with draft language and specific

ideas for the small area plan prior to the end of the public comment period, including potential updates to LUC and the options to rezone all parcels in 313/191 zone or wait for rezone requests. There is also an option to create overlay zones for parcels that are not Highway Commercial or Resort Special. Staff will provide updated survey responses and trends for the next CC meeting. PC is likely to propose minimal development to CC based on public comment. Staff to add survey question asking if the participant is a Grand County resident. PC to obtain clear direction from CC to move the plan forward.

Vision Statement: Not Addressed.

Citizens to be heard: (61 min) Marc Horwitz questions how the public comment survey differs from public clamour. PC states that it allows them to collect and interpret data, understand trends and voice this back to the community. The survey is part of the planning process and provides public input to guide the plan.

Public Hearing: San Juan Drive Duo at 1278 San Juan Drive. HDHO Application for a 2 lot subdivision. Community Rebuilds

Discussion: (69 min) See staff report for details.

The HDHO setbacks would typically be 20', the 15' boundary buffer is more appropriate for the size and density of this project. If all pending HDHO applications were approved, there would be 14 HDHO spots left.

Applicant Statement: (01:16:00min) Kenny Fallon on behalf of Community Rebuilds. Would like to split this lot in order to provide more affordable lots. This would add quality buildings that would not change the character of the neighborhood. The site plans are compatible with 20' buffer, however the homes would be smaller than what is typically built by CR. The power line will be moved to the back of the lot.

Motion and Vote: (01:24:00 min) Commissioner O'Brien moved to send a favorable recommendation to the County Council for the application of the HDHO-5 Parcel located at 1278 San Juan Drive, parcel number 02-0SGD-0049 conditional on the following: CC approval of the variance to allow the 15' boundary buffer instead of the 20' boundary buffer. Seconded by Commissioner Nelson.

Discussion: (01:25:00 min) This is a minor variance that makes sense to grant for affordable housing. Commissioner Campbell calls the vote on an amended motion that the HDHO-10 applies and not the HDHO-5.

Motion to send a favorable recommendation to the County Council on for the application of the HDHO-10 Parcel located at 1278 San Juan Drive, parcel number 02-0SGD-0049 conditional on the following: CC approval of the variance to allow the 15' boundary buffer instead of the 20' boundary buffer, passed 6-0 with Commissioners Walston, Nelson, Walker, O'Brien, Kovash and Campbell voting aye.

Motion and Vote: (01:28:00min) Commissioner O'Brien moved to approve the preliminary plat for the San Juan Duo HDHO subdivision located at 1278 San Juan Drive, parcel number 02-0SGV-0049 conditional on the application of the HDHO to the property of the approval of the variance for the project boundary buffer from 20' to 15'. Seconded by Commissioner Walston.

Motion passed 6-0 with Commissioners Walston, Nelson, Walker, O'Brien, Kovash and Campbell voting aye.

Future Considerations: (1:29:00min)

- The Small Area Plan 313/191 Public Comment Survey does not need to collect personal info, it will include a mandatory question asking if the participant is a Grand County resident.
- Staff will address PC on next steps needed regarding Small Area Plan 313/191
- Staff noted Bed and Breakfasts and Educational Facilities are missing from the code. There is no mechanism for treating these differently from the Overnight Accommodations. PC should consider how they would like to add other stimulations/rules to define these separately in the overnight accommodation ordinance.
- Small Area Plan 313/191 Vision Statement: Staff offered two vision statements that reflect public comment.

Building Permit Review (01:45:00min)

- 2 manufactured homes
- 2 construction permits, residential
- 1 addition/remodel
- 2 solar permits

County Council Action Item Report (01:56:00 min)

- Peakview passed as the first platted larger HDHO development.
- Abby Scott has left the Planning & Zoning Office and Olivia Holmes will be the Planning & Zoning Assistant.
- Economic Development is now supervised by Elaine Gizler, department head of the Travel Council.

Update - Jaylyn Hawks (1:59:00 min)

- Peakview development passed 5-1.
- Interviews for Zacharia Levine's vacancy are scheduled for Thursday and Friday.
- Grand County has recorded 49 COVID-19 cases and one death.

Adjournment: (02:03:00min) Commissioner Campbell moved to adjourn the meeting. Motion passed 6-0 with Commissioners Walston, Nelson, Walker, O'Brien, Kovash and Campbell voting aye. Meeting adjourned at 6:05pm.

SMALL AREA PLAN for 313/191 Schedule and Summary

The Planning Commission and CED Staff have been tasked with drafting a Small Area Plan for the Highway 313 / 191 node by the Grand County Council, ideally with an adoption date prior to 2021. This document should include guidance for development in the area, including *VISION*, *GOALS*, and *IMPORTANT ELEMENTS* (such as *visual impact*, *density*, *types of uses*, *water*, etc). These should be defined as specifically or loosely as the Planning Commission and County Council see fit. The small area plan should be a combination of visuals and text, designed to be clear and readable. The plan should include a combination of public input and staff, Planning Commission, and Council guidance.

Planning efforts began at the June 8th, 2020, Planning Commission meeting with a discussion of questions for the public to solicit input, a draft definition of boundaries, and a rough timeline.

PROPOSED TIMELINE

| | |
|--|--------------------------------|
| PC Approves Public Survey | June 22nd July 13 |
| Public Input Begins, Webpage Created, Stakeholder Meetings | June 30th July 20th |
| Workshop with CC, PC Discussions, Public Comment Continues | July 21 |
| <i>Discussion at County Council Meeting</i> | <i>August 18th</i> |
| Workshop with CC | September 1st (?) |
| Final Draft of Small Area Plan | September 7th |
| <i>Approval of Draft for Legal Review</i> | <i>September 14th</i> |
| Legal Review (4 week minimum) | Sept 14th - Oct 14th |
| Notice for Public Hearing @ PC | October 12th |
| Public Hearing & Recommendation by Planning Commission | October 26th |
| Notice for Public Hearing @ CC | November 2nd |
| Public Hearing @ County Council | November 17th |
| Adoption | December 1st |

SMALL AREA PLAN HWY 313/ US 191 PUBLIC COMMENT SUMMARY

Survey responses and comments through August 17th, 2020

OUTREACH



 Grand County Community & Economic Development/Planning & Zoning

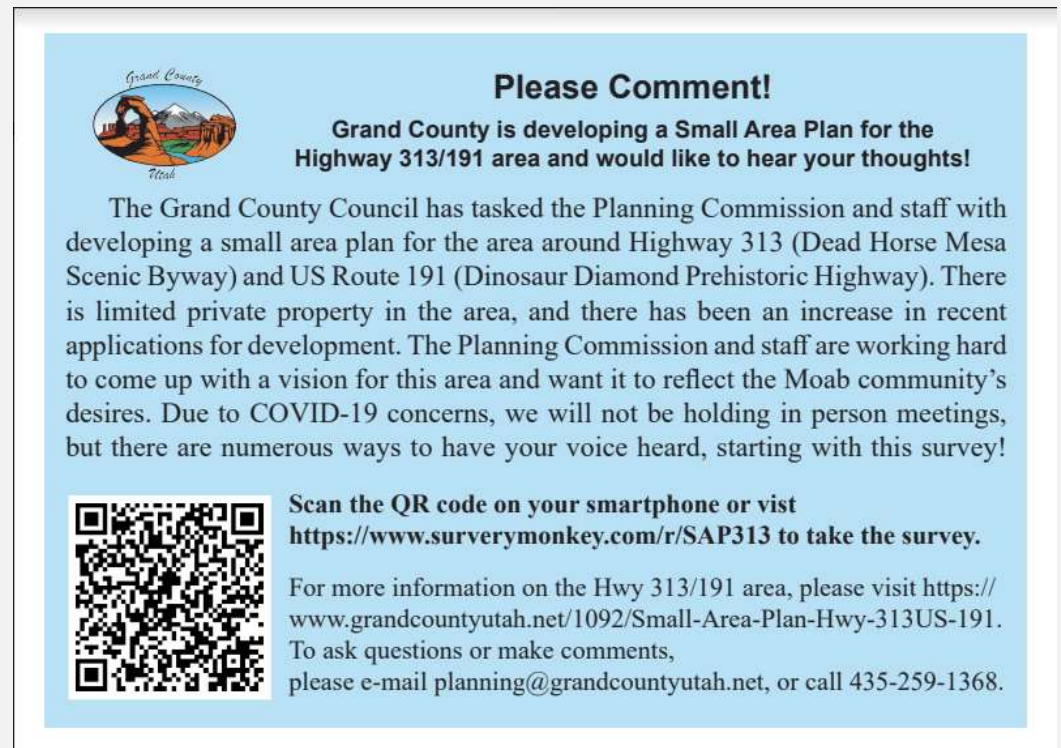
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Let your voice be heard in Grand County's future! Please visit our website to participate in the Hwy 313 / US 191 Small Area Planning efforts. E-mail planning@grandcountyutah.net or call 435-259-1268 to make comment or ask questions.

<https://www.grandcountyutah.net/1092/Small-Area-Plan-Hwy-313US-191>

 GRANDCOUNTYUTAH.NET
Small Area Plan Hwy 313 / US 191 | Grand Count...
Small Area Planning effort for the area around Highway 313 and US 191.

[Learn More](#)






Please Comment!

Grand County is developing a Small Area Plan for the Highway 313/191 area and would like to hear your thoughts!

The Grand County Council has tasked the Planning Commission and staff with developing a small area plan for the area around Highway 313 (Dead Horse Mesa Scenic Byway) and US Route 191 (Dinosaur Diamond Prehistoric Highway). There is limited private property in the area, and there has been an increase in recent applications for development. The Planning Commission and staff are working hard to come up with a vision for this area and want it to reflect the Moab community's desires. Due to COVID-19 concerns, we will not be holding in person meetings, but there are numerous ways to have your voice heard, starting with this survey!

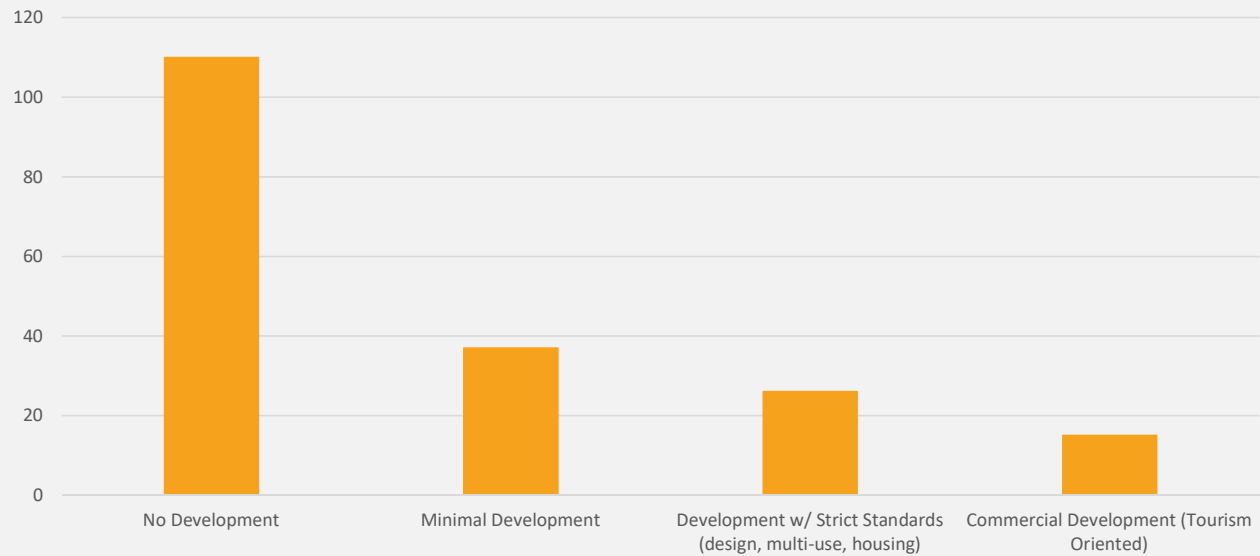
 Scan the QR code on your smartphone or visit <https://www.surveymonkey.com/r/SAP313> to take the survey.

For more information on the Hwy 313/191 area, please visit <https://www.grandcountyutah.net/1092/Small-Area-Plan-Hwy-313US-191>. To ask questions or make comments, please e-mail planning@grandcountyutah.net, or call 435-259-1368.

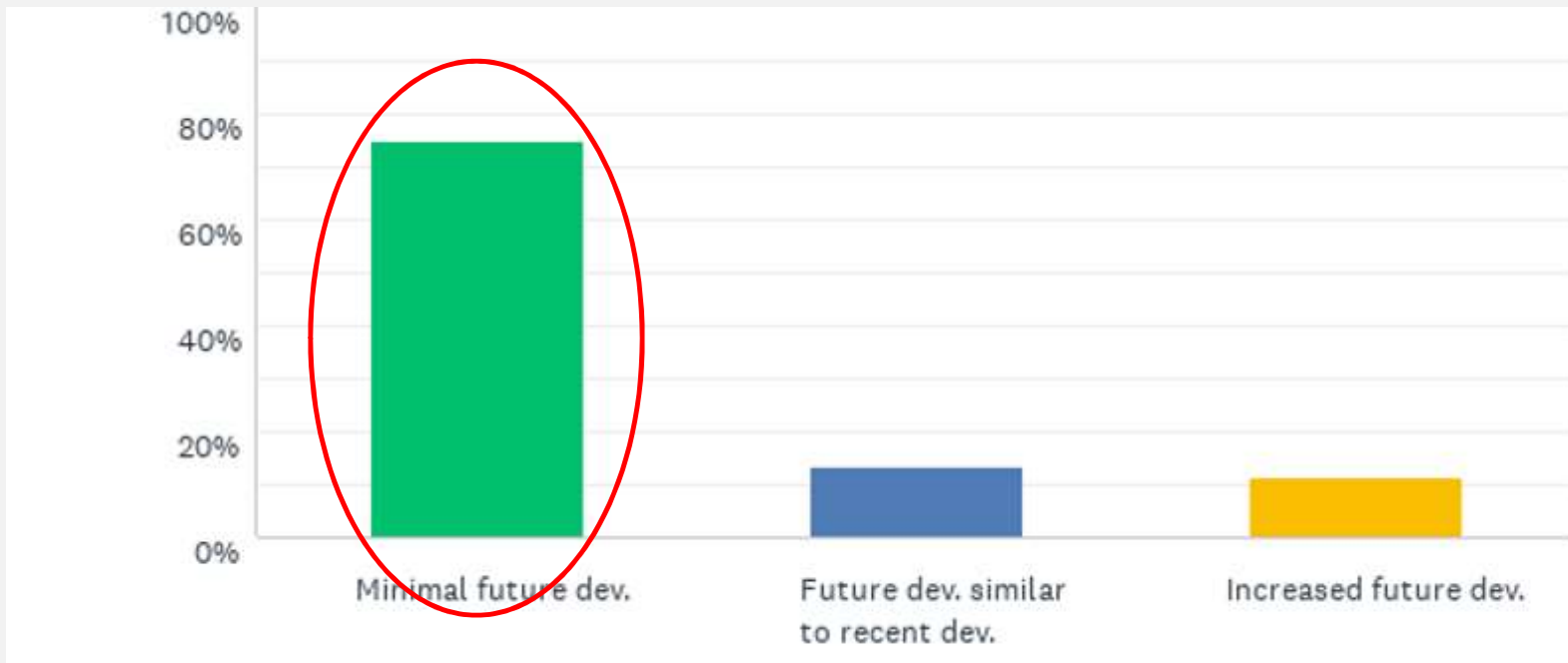
VISION – WORD CLOUD

corridor Remain scenic space much coming make existing plan well Leave alone
blend landscape trails want hotels national parks water slow preserve visit Please
additional development land minimal Minimal development also beautiful
preserve natural natural commercial possible future development develop years
community great gateway Moab wild allow sprawl town center
already many need support Leave restaurants area way
development views Moab maintain keep lighting
built Protect open space traffic see camping parks gone
gateway currently now use will traffic town tourists drive little Dead Horse Point
better Left undeveloped RV parks approved locals lodging north highway
commercial development natural beauty area Less limited development limited
Adding stay open thought blocking views new development people Zoning
scenic gateway Moab natural beauty shops Arches without

VISION – COMMENT CATEGORIES



PREFERRED LEVEL OF DEVELOPMENT

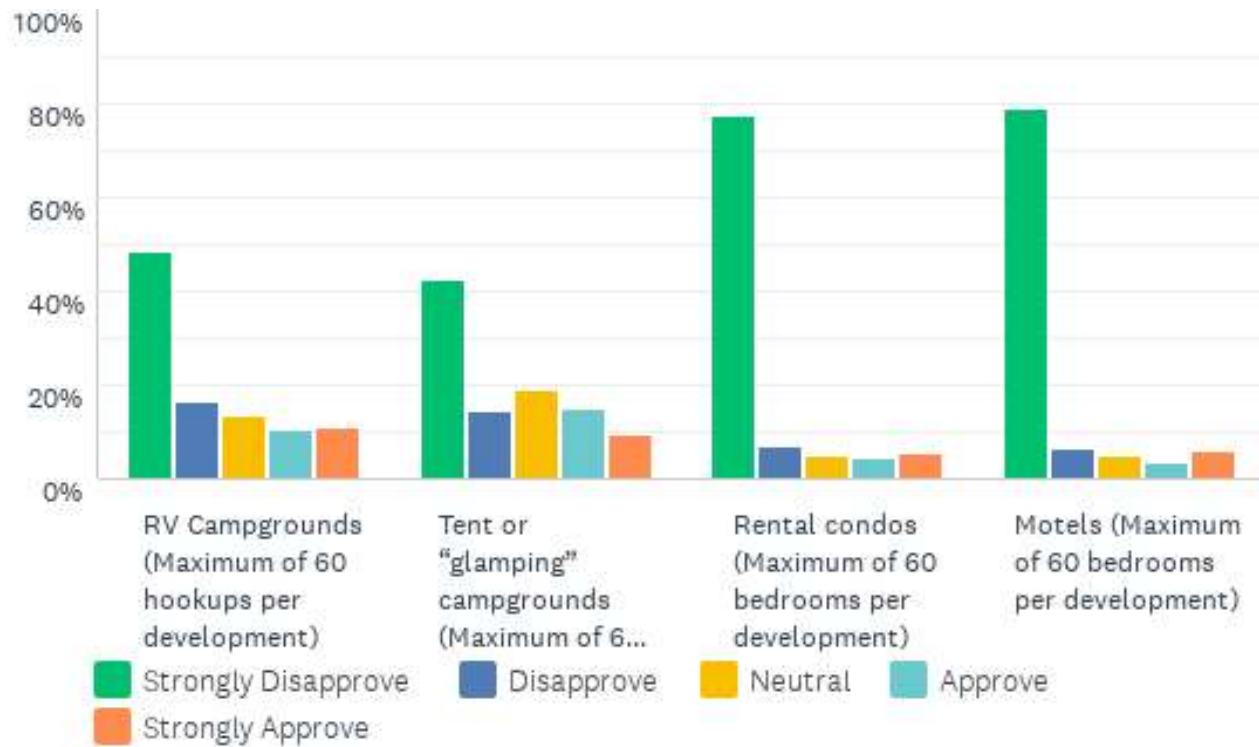


| ANSWER CHOICES | RESPONSES |
|------------------------------------|-----------|
| Minimal future dev. | 75% 342 |
| Future dev. similar to recent dev. | 13% 61 |
| Increased future dev. | 11% 52 |
| TOTAL | 455 |

PREFERRED USES

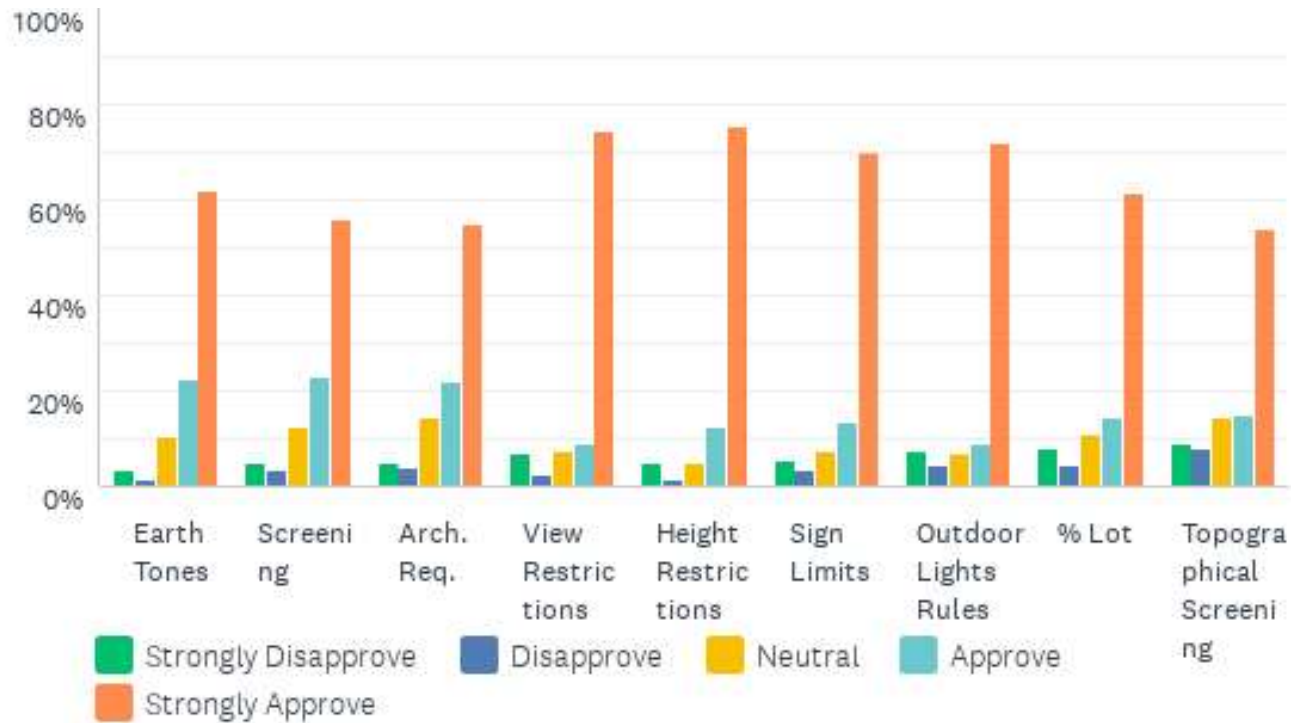
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|--|-----|-----|
| Adventure parks | 12% | 51 |
| Convenience stores | 17% | 73 |
| Denser attached housing (townhomes/condos) | 15% | 67 |
| Fast food restaurants | 11% | 46 |
| Gas stations | 20% | 89 |
| Grocery store/general store | 18% | 80 |
| Guide/outfitters | 19% | 81 |
| Industrial uses | 9% | 39 |
| Mtn bike rentals | 19% | 82 |
| Museums | 30% | 130 |
| Other tourism related rental and retail | 14% | 62 |
| Outdoor education | 53% | 229 |
| Public parking area | 38% | 166 |
| Res. housing on lots 1 acre or greater | 18% | 78 |
| Res. housing on lots 5 acres or greater | 14% | 61 |
| Restaurants (not fast food) | 26% | 112 |
| Truck stops | 13% | 56 |
| UTV rentals | 12% | 53 |
| Other (please specify) | 39% | 170 |

NEW OVERNIGHT ACCOMMODATIONS?

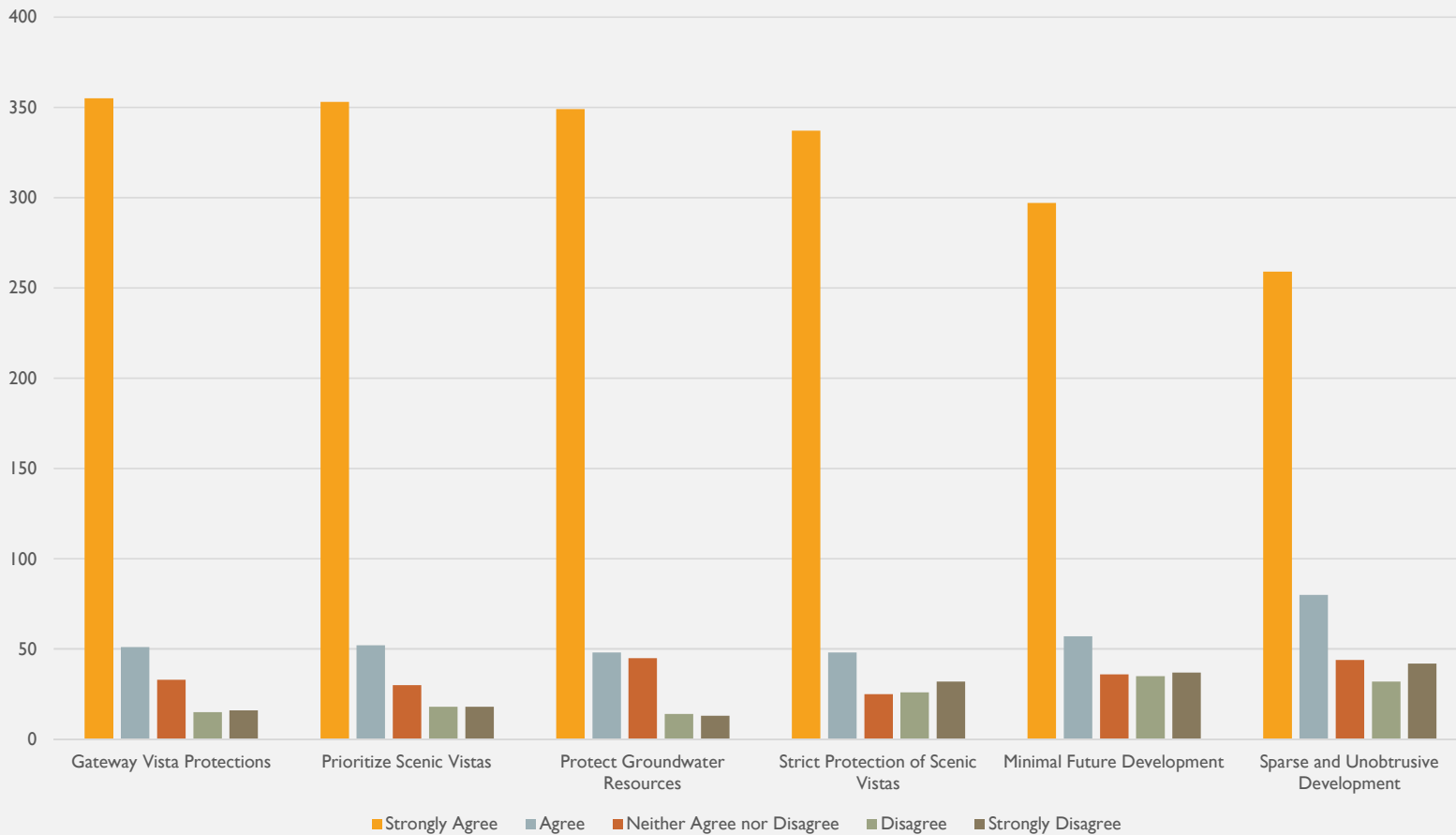


VISUAL IMPACT MITIGATION

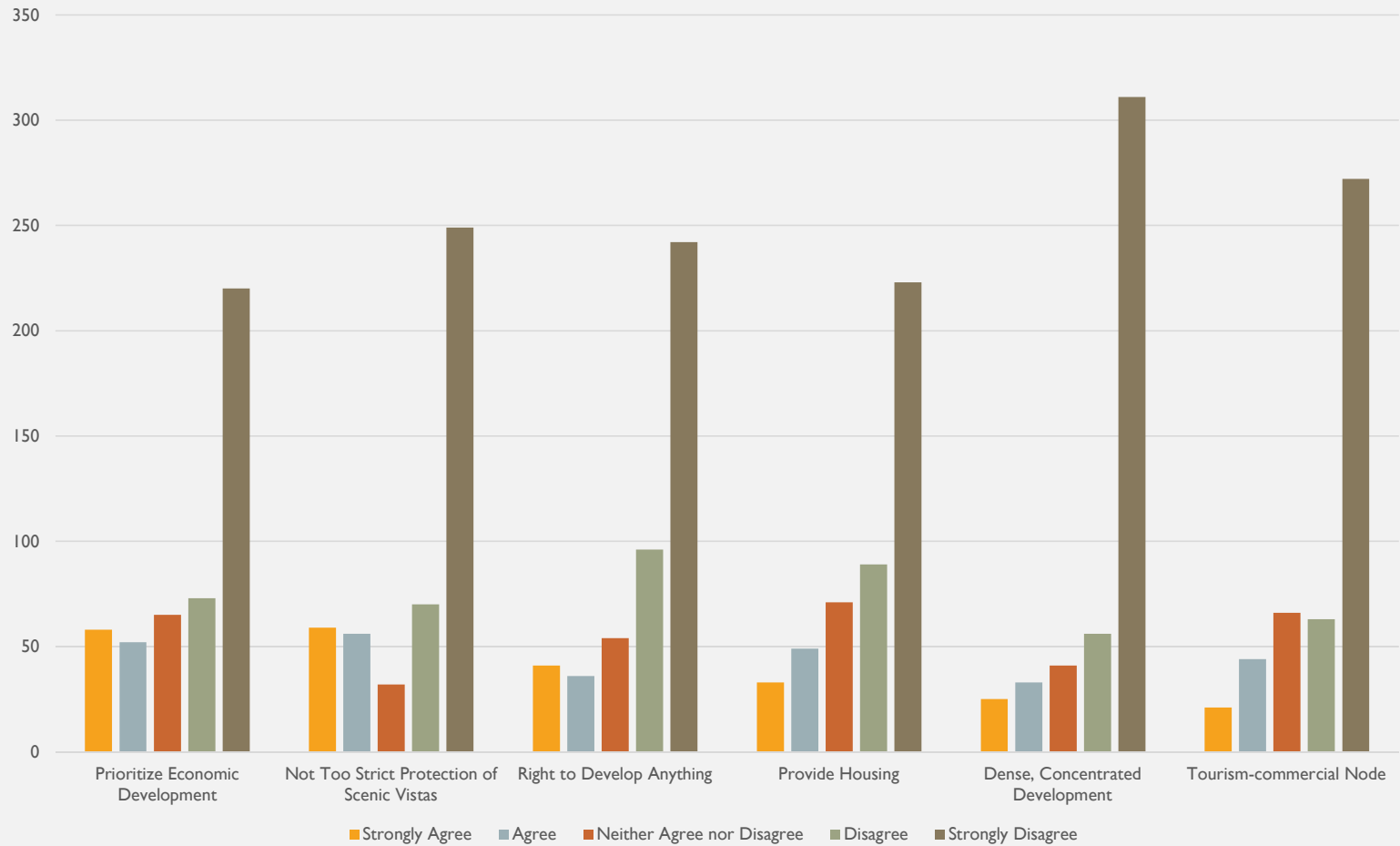
Everything!



AGREE STATEMENTS



DISAGREE STATEMENTS



Planning Projects on the Horizon

- 1) Small Area Plan 313 / 191
- 2) Overnight Accommodations Updates / Amendments
- 3) Use Table Review
- 4) General Plan Update**
- 5) Airport Small Area Plan
- 6) Open Space & Parks Plan
- 7) Townhome Density Bonus
- 8) Sustainability Code Updates

Article 9 Administration and Procedures Revised 11/18 Revised 3/20

9.1.4 Application

All applications shall be completed and submitted to the Zoning Administrator at least 30 days prior to any desired agenda date. An application shall not be considered as officially submitted until it has been found to be complete in accordance with Section [9.1.6](#). [Ord. 546, 2016.]

9.1.5 Summary of Land Use Authority

Land use authority for the respective land use review procedures is described below:

| SUMMARY OF LAND USE AUTHORITY | | |
|--|---------------------------|-------------------------------|
| Application Type | Land Use Authority | Reference |
| Interpretations of Text and Zoning Map | Zoning Administrator | Section 9.2.8 |
| Zoning Map (Rezoning) and Text Amendments | County Council | Section 9.2 |
| Sketch Plan | Planning Commission | Section 9.3 |
| Preliminary Plat | Planning Commission | Section 9.4 |
| Final Plat | County Council | Section 9.5 |
| Minor Record Surveys | Zoning Administrator | Section 9.7 |
| Recreational Subdivisions | County Council | Section 9.8 |
| Replat Plat Amendments and Exemption Plats | County Council | Section 9.9 |
| Lot Line Adjustments | Zoning Administrator | Section 9.10 |
| Conditional Use Permits | County Council | Section 9.11 |
| Appeals of Administrative Decisions | Hearing Officer | Section 9.13 |
| Variances | Hearing Officer | Section 9.14 |
| Variances (in conjunction with Subdivision Review) | County Council | Section 9.14 |
| Sign Permits | Zoning Administrator | Section 9.15 |
| Temporary Use Permits | Zoning Administrator | Section 9.16 |
| Site Plan Reviews | Zoning Administrator | Section 9.17 |
| Zoning Development Permits | Zoning Administrator | Section 9.18 |
| Building Permits | Building Official | -- |
| Certificates of Occupancy | Building Official | Section 9.19 |
| Overnight Accommodations/Short-term Rentals | Zoning Administrator | Section 4.6 |
| Bed and Breakfasts | Zoning Administrator | Section 3.2.3 |

[Ord. 548, 2016; Ord. 546, 2016.]

9.1.8 Required Public Notices Revised 3/20

A. Summary of Notice Requirements

Notice shall be required for development review as shown in the table below.

| Application Type | Published | Posted |
|---|-----------|--------|
| Appeals of Administrative Decisions | X | |
| Conditional Use Permits | X | X |
| Replat Plat Amendments Plat amendments | X | X |
| Text Amendments | X | |
| Zoning Map Amendments (Rezoning and Overlays) | X | X |
| Variances | X | X |

B. Notice Requirements

All required public notices shall be accomplished in accordance with the following requirements:

1. Publication

The County shall cause notice of the public meeting or public hearing to be given by publication in a newspaper of general circulation (with distribution of the notice to all other local news media without any requirement for publication) in Grand County not less than 10 calendar days prior to the public meeting or public hearing for the purpose of notifying the public of the time and place of such public meeting or hearing.

2. Mailing

In addition to the above publication requirements, the applicant shall mail notice of each public meeting or public hearing not less than 13 days prior to the hearing to the record owner of each parcel on file with the Grand County Assessor's Office within 1,000 feet in all directions of the property that is the subject of a land use application.

3. Posting

In addition to the above publication and mailing requirements:

- a. The applicant shall post a sign, provided by the County, not less than 10 days prior to each public meeting or public hearing, which sign shall notice the public meeting or public hearing in a prominent and visible place within five feet of each property line with street frontage on the land area proposed for a rezoning (including application of overlays), subdivision (including amendments), or conditional use; and
- b. The County shall post notice on the official County and state public meeting notice websites.

4. Affidavit re: Notice

Prior to each public meeting or public hearing date, the applicant shall submit to the County a notarized affidavit regarding notice which shall include:

- a. The date of mailing of the notice with a list of the name(s) and address(es) of each record owner to whom the applicant mailed said notice with the parcel number and address of each property within 1,000 feet; and
- b. The date of posting of the sign; an affirmation that said sign was posted in a prominent and visible place within five feet of each property line with street frontage on the land area proposed for a rezoning (including application of overlays), subdivision (including amendments), or conditional use; and photo(s) demonstrating the same.

C. Content of Notice

All published, posted, or mailed notices shall at a minimum state the time and place of such public meeting or public hearing and the nature of the subject to be considered, and the name, address, and phone number of the applicant.

[Ord. 608, 2020; Ord. 546, 2016.]

9.2.5 Action by County Council

The County Council shall act on the zoning map or text amendment in a public hearing within 30 days after the recommendation and report of the Planning Commission, or within a reasonable time thereafter.

A. Public Hearing Required

The County Council shall hold a public hearing on any application for amendment or change prior to making its decision. If County Council approves the ordinance amendment on first reading in a public hearing, a second reading shall be held by the County Council before adopting any proposed amendment, supplement or change. Following the second reading, such amendments shall become effective upon the favorable vote of a majority of the quorum of the County Council present and voting.

B. Public Notification

Public notice shall be made in accordance with the requirements of Section 9.1.8, Required Public Notices.

C. Exception

When the zoning district map in any way is to be changed or amended incidental to, or as a part of, a general revision of this LUC, whether such revision be made by repeal of the existing zoning and/or land use regulations and enactment of a new zoning and/or land use regulations, or otherwise, posting of notice on the land area proposed for rezoning shall not be required.

[Ord. 546, 2016.]

9.9 ~~Replat~~Plat Amendments and Exemption Plats

9.9.1 ~~Replat~~Plat Amendments

Subdivision Amendments shall be subject to all requirements of this LUC regarding preliminary and final plats and shall also be processed under Utah Code § 17-27a-608, as amended. Public notice shall be provided under Utah Code § 17-27a-608(1)(c) and LUC Section 9.1.8 prior to approval of the preliminary plat and final plat. Public hearing may be required as provided in Utah Code § 17-27a-608(1)(d) unless excepted by Utah Code § 17-27a-608(2)(a).

9.9.2 Public Notification

Unless otherwise required by Utah law, public notice shall be made in accordance with the requirements of Section 9.1.8, Required Public Notices. [Ord.-546608, 20162020.]

9.9.3 Exemption Plats

Exemption plats shall meet all requirements of this LUC for final plat; provided, however, that the County Council may approve such exemption plat without notice or hearing where the boundary or plat amendment is solely for one or more of the following purposes and does not remove any covenants or restrictions or increase the number of lots:

- A. The purpose is to correct an error in any course or distance shown on the prior plat.
- B. The purpose is to add any course or distance that was omitted on the prior plat.
- C. The purpose is to correct an error in the description of the real property shown on the prior plat.
- D. The purpose is to indicate monuments set after death, disability, or retirement from practice of the engineer or surveyor responsible for setting the monuments.
- E. The purpose is to show the proper location or character of any monument that has been changed in location or character or that originally was shown at the wrong location or incorrectly as to its character on the prior plat.
- F. The purpose is to correct any other type of clerical error or omission in the previously approved plat.
- G. The purpose is to correct an error in courses and distances of lot lines between two adjacent lots where both lot owners join in the application for amendment and neither lot is abolished; provided, that such amendment does not have a material adverse effect on the property rights of the owners in the plat.
- H. The purpose is to relocate a lot or boundary line in order to cure an inadvertent encroachment of a building or improvement on a lot or boundary line or on an easement.

[Ord. 546, 2016.]

9.12 Constitutional Takings Review and Appeal

Pursuant to the Utah Constitutional Takings Issues Act, and in order to promote the protection of private property rights and to prevent the physical taking or exaction of private property without just compensation, the County Council, the Planning Commission, and the Zoning Administrator shall adhere to the following before authorizing the seizure or exaction of private property: Regulatory takings are not subject to the Utah Constitutional Takings Issues Act of this Section 9.12.

9.12.1 Definitions

- A. "Constitutional Taking" shall mean an Exaction or Physical Taking that violates the 5th or 14th Amendments of the US Constitution or Article I, Section 22 of the Utah Constitution. As used herein, a Constitutional Taking does not include a Regulatory Taking.
- B. "Exaction" shall mean a development condition imposed by the County under Utah Code Section 17-27a-507.
- C. "Physical Taking" shall mean a physical invasion of private property.
- D. "Regulatory Taking" shall mean a County regulation which deprives the owner of all economically beneficial use of their property or significantly interferes with investment-backed expectations without significantly advancing a legitimate government interest.

9.12.1-2 Right to Appeal

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Any owner of private property who believes they have suffered a Constitutional Taking by the County that his/her property is proposed to be "taken" by an otherwise final action of the County Council, the Commission or the Zoning Administrator may appeal the County's decision to the Hearing Officer within 30 days after the decision is made in writing to the County Clerk/Auditor. The County may answer the appeal in writing prior to the hearing.

9.12.3 Hearing Procedure

The Hearing Officer shall hear and decide the appeal within 14 days after the appeal is filed unless the Hearing Officer grants an extension upon the reasonable request of either the appellant or the County. The appellant may be represented by counsel; the County Attorney or their designee shall represent the County. The hearing is not a public meeting and public comment shall not be permitted. The Hearing Officer shall review the appeal pursuant to the guidelines in Section 9.12.5. The decision of the Hearing Officer shall be in writing and a copy shall be given to the appellant and the applicable land use authority. The Hearing Officer's rejection of an appeal shall constitute final County action.

9.12.4 Submission Requirements

The applicant shall file one hard copy and one electronic copy of a petition requesting a constitutional takings review and of a preliminary title report from a licensed title company or attorney listing the name of the property owner(s) and all liens, easements and judgments of record affecting the subject property. The petition shall be accompanied by or show the following information:

- A. The street address and legal description of the property affected;
- B. A detailed description of the grounds for the claim that there has been a constitutional taking and of the property taken;
- C. Evidence and documentation as to the value of the property, including the date and cost at the date the property was acquired, both before and after the alleged constitutional taking. This should include the name of the party from whom the property was purchased, including the relationship, if any, between the person requesting a review and the party from whom the property was acquired;
- D. Nature of the prosecutable interest claimed to be affected, such as, but not limited to, fee simple ownership or leasehold interest;
- E. Terms (including sale price) of any previous purchase or sale or a full or partial interest in the property in the three years prior to the date of application;
- F. All appraisals of the property prepared for any purpose, including financing, offering for sale, or ad valorem taxation, within the three years prior to the date of application;
- G. The assessed value of ad valorem taxes on the property for the previous three years;
- H. All information concerning current mortgage or other loans secured by the property, including the name of the mortgagee or lender, current interest rate, remaining loan balance and term of the loan or other significant provisions, including but not limited to, right of purchasers to assume the loan;
- I. All listings of the property for sale or rent, price asked, and offers received, if any, within the previous three years;

J. For income producing property, an itemized income and expense statement from the property for the previous three years;

K. The County Council or their designee may request additional information reasonably necessary in their opinion to arrive at a conclusion concerning whether there has been a constitutional taking; and

L. A filing fee to cover the cost of review in accordance with the fee schedule adopted by resolution of the County Council.

~~The appeal must be filed in writing with the County Recorder. The Hearing Officer shall hear and approve and remand or reject the appeal within 14 days after the appeal is filed. The Hearing Officer, with advice from the County Attorney, shall review the appeal pursuant to the guidelines in Section 9.12.4. The decision of the Hearing Officer shall be in writing and a copy shall be given to the appellant and to the County Council, the Commission, or Zoning Administrator that took the initial action. The Hearing Officer's rejection of an appeal shall constitute final County action. [Ord. 546, 2016.]~~

9.12.2 Submission Requirements

~~The applicant shall file two hard copies and one electronic copy of a petition requesting a constitutional takings review and of a preliminary title report from a licensed title company or attorney listing the name of the property owner(s) and all liens, easements and judgments of record affecting the subject property. The petition shall be accompanied by or show the following information:~~

~~A. The street address and legal description of the property affected;~~

~~B. A detailed description of the grounds for the claim that there has been a constitutional taking and of the property taken;~~

~~C. Evidence and documentation as to the value of the property, including the date and cost at the date the property was acquired, both before and after the alleged constitutional taking. This should include the name of the party from whom the property was purchased, including the relationship, if any, between the person requesting a review and the party from whom the property was acquired;~~

~~D. Nature of the prosecutable interest claimed to be affected, such as, but not limited to, fee simple ownership or leasehold interest;~~

~~E. Terms (including sale price) of any previous purchase or sale or a full or partial interest in the property in the three years prior to the date of application;~~

~~F. All appraisals of the property prepared for any purpose, including financing, offering for sale, or ad valorem taxation, within the three years prior to the date of application;~~

~~G. The assessed value of ad valorem taxes on the property for the previous three years;~~

~~H. All information concerning current mortgage or other loans secured by the property, including the name of the mortgagee or lender, current interest rate, remaining loan balance and term of the loan or other significant provisions, including but not limited to, right of purchasers to assume the loan;~~

~~I. All listings of the property for sale or rent, price asked, and offers received, if any, within the previous three years;~~

~~J. For income producing property, an itemized income and expense statement from the property for the previous three years;~~

~~K. The County Council or their designee may request additional information reasonably necessary in their opinion to arrive at a conclusion concerning whether there has been a constitutional taking; and~~

~~L. A filing fee to cover the cost of review in accordance with the fee schedule adopted by resolution of the County Council.~~

[Ord. 546, 2016.]

9.12.3 Takings Review Procedure

~~Prior to any proposed action to exact or seize property by the County Council, the Commission or the Zoning Administrator, the County Attorney shall review the proposed action to determine if a constitutional taking requiring "just compensation" would occur. The County Attorney shall review all such matters pursuant to the guidelines established in Section 9.12.4. Upon identifying a possible constitutional taking, the County Attorney shall, in a confidential, protected writing, inform the County Council, the Planning Commission, or the Zoning Administrator of the possible consequences of its action. This opinion shall be advisory only and no liability shall be attributed to the County for failure to follow the recommendation of the County Attorney. [Ord. 546, 2016.]~~

9.12.4.5 Takings Guidelines

~~Prior to any proposed action to exact or seize property by the County, tThe County Attorney shall review the proposed action to determine if a Constitutional Taking requiring "just compensation" would occur. whether the action constitutes a constitutional taking under the Fifth or Fourteenth Amendment to the Constitution of the United States, or under Article I, Section 22 of the Utah Constitution. The County Attorney (and, upon appeal, the Hearing Officer) shall determine whether the proposed action bears an essential nexus to a legitimate governmental interest; and whether the action is roughly proportionate and reasonably related to the legitimate governmental interest. The County Attorney shall also determine whether the action deprives the private property owner of all reasonable use of the property. These guidelines are advisory only and shall not expand or limit the scope of the County's liability for a constitutional Constitutional takingTaking. Further, a court may not impose liability on the County for failing to comply with this Section 9.12.5.~~

[Ord. 546, 2016.]

9.12.5 Annual Review

~~The County Attorney shall review these guidelines annually and recommend changes as warranted by the current status of the law. Nothing herein shall prevent the County Attorney from considering subsequent legal standards established by the legislature or case law after the adoption of this section. [Ord. 546, 2016.]~~

**GRAND COUNTY, UTAH
ORDINANCE _____ (2020)**

**APPROVING AMENDMENTS TO ARTICLES 4 AND 9
OF THE GRAND COUNTY LAND USE CODE**

WHEREAS, the Grand County Council (“County Council”) adopted the Grand County General Plan Update (“General Plan”) on February 7, 2012 with Resolution No. 2976;

WHEREAS, the County Council adopted the Grand County Land Use Code (“LUC”~~Land Use Code~~) on January 4, 1999 with Ordinance No. 299, adopted significant amendments to it on February 19, 2008 with Ordinance No. 468, and has since amended it with additional ordinances for the purpose of regulating land use, subdivision and development in Grand County in accordance with the General Plan;

WHEREAS, the Planning Commission is statutorily responsible for making recommendations to the County Council regarding textual amendments to the ~~LUC and Use Code~~;

WHEREAS, Grand County desires to amend LUC Article 4, Sections 4.7.6.B and 4.7.8.F, to simplify the required deed restriction and require expiration of ~~of the Land Use Code in regards to the~~ High Density Housing Overlay approval if building permits are not obtained within 24 months of recordation of the final plat for the project; expiration obtained and Deed Restriction recordation requirements;

WHEREAS, Grand County desires to amend LUC Article 9, Sections 9.1.5, 9.1.8 (in its entirety), 9.2.5, 9.9 (title only), 9.9.1, 9.9.2, 9.12, of the Land Use Code to ~~by clarifying and updating the following;~~ required public notices, update the plat amendment process to be consistent with state code, provide a reasonable timeframe for response by Council to rezone applications, and to revise the ~~ings action by the council, replat statutory language and Utah Code, as amended, and~~ Constitutional Takings review and appeal procedure to be consistent with state laws;

WHEREAS, following a Public Hearing held on August 24 _____, 2020, the Grand County Planning Commission voted to forward a favorable recommendation for amending Sections 4.7.6.B, 4.7.8.F, 9.1.5, 9.1.8 (in its entirety), 9.2.5, 9.9 (title only), 9.9.1, 9.9.2, 9.12 _____ of the Grand County Land Use Code;

WHEREAS, the Grand County Council held a public hearing on September 1 _____, 2020 to solicit public comment on this item and voted to approve the same.

NOW, THEREFORE BE IT RESOLVED, that the following sections of Grand County Land Use Code Articles 4 and 9 of the Grand County Land Use Code are hereby amended to read in their entirety as follows;:

4.7.6 Assurance of Primary Residential Housing and Occupancy

B. Deed Restriction. The following deed restriction shall be integrated into the development agreement, the master plan, each final plat or site plan, and each deed of conveyance:

The Property shall be used for Primary Residential Housing for Actively Employed Households as required by Grand County Land Use Code, Section 4.7, High Density Overlay Districts Overlay, in perpetuity. [The Property is further subject to a Development Agreement and Master Plan recorded against the Property in the real property records of Grand County, Utah.](#)

Grand County reserves the right to revoke, deny or suspend any permit, including a land development permit, conditional use permit, building permit, certificate of occupancy, or discretionary approval upon a violation or breach of this Deed Restriction by a record owner of any HDHO Lot or Unit in Grand County.

4.7.8 HDHO District Application

F. Lapse of Approval. The HDHO District approval shall automatically expire and be void unless:

1. The County approves and developer records a site plan or final plat for the HDHO development in accordance with Sections [4.7.9](#) and 9.5 within 24 months of the date of HDHO District approval; ~~and-~~
- ~~2.~~—The developer obtains a building permit for the units/lots within 24 months of the final plat recordation.

9.1.5 Summary of Land Use Authority

[Land use authority for the respective land use review procedures is described below:](#)

| <u>SUMMARY OF LAND USE AUTHORITY</u> | | |
|--|--------------------------------------|-------------------------------|
| <u>Application Type</u> | <u>Land Use Authority</u> | <u>Reference</u> |
| Interpretations of Text and Zoning Map | Zoning Administrator | Section 9.2.8 |

| | | |
|--|--------------------------------------|-------------------------------|
| Zoning Map (Rezoning) and Text Amendments | County Council | Section 9.2 |
| Sketch Plan | Planning Commission | Section 9.3 |
| Preliminary Plat | Planning Commission | Section 9.4 |
| Final Plat | County Council | Section 9.5 |
| Minor Record Surveys | Zoning Administrator | Section 9.7 |
| Recreational Subdivisions | County Council | Section 9.8 |
| Plat Amendments and Exemption Plats | County Council | Section 9.9 |
| Lot Line Adjustments | Zoning Administrator | Section 9.10 |
| Conditional Use Permits | County Council | Section 9.11 |
| Appeals of Administrative Decisions | Hearing Officer | Section 9.13 |
| Variances | Hearing Officer | Section 9.14 |
| Variances (in conjunction with Subdivision Review) | County Council | Section 9.14 |
| Sign Permits | Zoning Administrator | Section 9.15 |
| Temporary Use Permits | Zoning Administrator | Section 9.16 |
| Site Plan Reviews | Zoning Administrator | Section 9.17 |
| Zoning Development Permits | Zoning Administrator | Section 9.18 |
| Building Permits | Building Official | -- |
| Certificates of Occupancy | Building Official | Section 9.19 |
| Overnight Accommodations/Short-term Rentals | Zoning Administrator | Section 4.6 |
| Bed and Breakfasts | Zoning Administrator | Section 3.2.3 |

9.1.8 Required Public Notices

A. Summary of Notice Requirements

Notice shall be required for development review as shown in the table below.

| Application Type | Published | Posted |
|---|-----------|--------|
| Appeals of Administrative Decisions | X | |
| Conditional Use Permits | X | X |
| Plat Amendments | X | X |
| Text Amendments | X | |
| Zoning Map Amendments (Rezoning and Overlays) | X | X |
| Variances | X | X |

B. Notice Requirements

All required public notices shall be accomplished in accordance with the following requirements:

1. Publication

The County shall cause notice of the public meeting or public hearing to be given by publication in a newspaper of general circulation (with distribution of the notice to all other local news media without any requirement for publication) in Grand County not less than 10 calendar days prior to the public meeting or public hearing for the purpose of notifying the public of the time and place of such meeting or hearing.

2. Mailing

In addition to the above publication requirements, the applicant shall mail notice of each public meeting or public hearing not less than 13 days prior to the hearing to the record owner of each parcel on file with the Grand County Assessor's Office within 1,000 feet in all directions of the property that is the subject of a land use application.

3. Posting

In addition to the above publication and mailing requirements:

- a. The applicant shall post a sign, provided by the County, not less than 10 days prior to each public meeting or public hearing, which sign shall notice the public meeting or public hearing in a prominent and visible place within five feet of each property line with street frontage on the land area proposed for a rezoning (including application of overlays), subdivision (including amendments), or conditional use; and
- b. The County shall post notice on the official County and state public meeting notice websites.

4. Affidavit re: Notice

Prior to each public meeting or public hearing date, the applicant shall submit to the County a notarized affidavit regarding notice which shall include:

- a. The date of mailing of the notice with a list of the name(s) and address(es) of each record owner to whom the applicant mailed said notice with the parcel number and address of each property within 1,000 feet; and
- b. The date of posting of the sign; an affirmation that said sign was posted in a prominent and visible place within five feet of each property line with street frontage on the land area proposed for a rezoning (including application of overlays), subdivision (including amendments), or conditional use; and photo(s) demonstrating the same.

C. Content of Notice

All published, posted, or mailed notices shall at a minimum state the time and place of such public meeting or public hearing and the nature of the subject to be considered, and the name, address, and phone number of the applicant.

9.2.5 Action by County Council

The County Council shall act on the zoning map or text amendment in a public hearing within 30 days after the recommendation and report of the Planning Commission, or within a reasonable time thereafter.

9.9 Plat Amendments and Exemption Plats

9.9.1 Plat Amendments

Subdivision Amendments shall be subject to all requirements of this LUC regarding preliminary and final plats and shall also be processed under Utah Code § 17-27a-608, as amended. Public notice shall be provided under Utah Code § 17-27a-608(1)(c) and LUC Section 9.1.8 prior to approval of the preliminary plat and final plat. Public hearing may be required as provided in Utah Code § 17-27a-608(1)(d) unless excepted by Utah Code § 17-27a-608(2)(a). Plat Amendments shall be subject to all requirements of this LUC regarding preliminary and final plats and shall be processed under Utah Code §Sec. 17-27a-608, as amended. The County Council may, following a public meeting and recommendation of the Planning Commission, approve a petition for a plat amendment that is for the purpose of vacation, alteration, or amendment of a subdivision plat, of any lot, street or alley contained in a plat; provided, that the plat amendment does not result in a violation of a land use ordinance or a development condition. Public hearing may be required as provided in Utah Code §Sec. 17-27a-608(1)(d) unless excepted by Utah Code §Sec. 17-27a-608(2)(a).

9.9.2 Public Notification

Unless otherwise required by Utah law, public notice shall be made in accordance with the requirements of Section 9.1.8, Required Public Notices.

9.12 Constitutional Takings Review and Appeal

Pursuant to the Utah Constitutional Takings Issues Act, and in order to promote the protection of private property rights and to prevent the physical taking or exaction of private property without just compensation, the County Council, the Planning Commission, and the Zoning Administrator shall adhere to the following before authorizing the seizure or exaction of private property.

Regulatory Ttakings are not subject to the Utah Constitutional Takings Issues Act orf this Section 9.12.

9.12.1 Definitions

- A. "Constitutional Taking" shall mean an Exaction or Physical Taking that violates the 5th or 14th Amendments of the US Constitution or Article I, Section 22 of the Utah Constitution. As used herein, a Constitutional Taking does not include a Regulatory Taking.
- B. "Exaction" shall mean a development condition imposed by the County under Utah Code §17-27a-507;
- C. "Physical Taking" shall mean a physical invasion of private property.
- D. "Regulatory Taking" shall mean a County regulation which deprives the owner of all economically beneficial use of their property or significantly interferes with investment-backed expectations without significantly advancing a legitimate government interest.

9.12.2 Right to Appeal

Any owner of private property who believes they have suffered a Constitutional Taking by the County may appeal the County's decision to the Hearing Officer within 30 days after the decision is made in writing to the County Clerk/Auditor. The County may answer the appeal in writing prior to the hearing.

9.12.3 Hearing Procedure

The Hearing Officer shall hear and decide the appeal within 14 days after the appeal is filed unless the Hearing Officer grants an extension upon the reasonable request of either the appellant or the County. The appellant may be represented by counsel; the County Attorney or their designee shall represent the County. The hearing is not a public meeting and public comment shall not be permitted. The Hearing Officer shall review the appeal pursuant to the guidelines in Section 9.12.5. The decision of the Hearing Officer shall be in writing and a copy shall be given to the appellant and the applicable land use authority. The Hearing Officer's rejection of an appeal shall constitute final County action.

9.12.4 Submission Requirements

The applicant shall file one hard copy and one electronic copy of a petition requesting a constitutional takings review and of a preliminary title report from a licensed title company or attorney listing the name of the property owner(s) and all liens, easements and judgments of record affecting the subject property. The petition shall be accompanied by or show the following information:

- A. The street address and legal description of the property affected;
- B. A detailed description of the grounds for the claim that there has been a constitutional taking and of the property taken;
- C. Evidence and documentation as to the value of the property, including the date and cost at the date the property was acquired, both before and after the alleged constitutional taking. This should include the name of the party from whom the property was purchased, including the relationship, if any, between the person requesting a review and the party from whom the property was acquired;
- D. Nature of the prosecutable interest claimed to be affected, such as, but not limited to, fee simple ownership or leasehold interest;
- E. Terms (including sale price) of any previous purchase or sale or a full or partial interest in the property in the three years prior to the date of application;
- F. All appraisals of the property prepared for any purpose, including financing, offering for sale, or ad valorem taxation, within the three years prior to the date of application;
- G. The assessed value of ad valorem taxes on the property for the previous three years;

H. All information concerning current mortgage or other loans secured by the property, including the name of the mortgagee or lender, current interest rate, remaining loan balance and term of the loan or other significant provisions, including but not limited to, right of purchasers to assume the loan;

I. All listings of the property for sale or rent, price asked, and offers received, if any, within the previous three years;

J. For income producing property, an itemized income and expense statement from the property for the previous three years;

K. The County Council or their designee may request additional information reasonably necessary in their opinion to arrive at a conclusion concerning whether there has been a constitutional taking; and

L. A filing fee to cover the cost of review in accordance with the fee schedule adopted by resolution of the County Council.

9.12.5 Takings Guidelines

Prior to any proposed action to exact or seize property by the County, the County Attorney shall review the proposed action to determine if a Constitutional Taking requiring “just compensation” would occur. The County Attorney (and, upon appeal, the Hearing Officer) shall determine whether the action bears an essential nexus to a legitimate governmental interest; and whether the action deprives the private property owner of all reasonable use of the property. These guidelines are advisory only and shall not expand or limit the scope of the County’s liability for a Constitutional Taking. Further, a court may not impose liability on the County for failing to comply with this Section 9.12.5.

PASSED by Grand County Council in a regular public meeting on _____, 2020 by the following vote:

Those voting aye: _____

Those voting nay: _____

Those absent: _____

ATTEST:

GRAND COUNTY COUNCIL

Quinn Hall, Clerk\Auditor

Mary McGann, Chair

4.7.6 Assurance of Primary Residential Housing and Occupancy Revised 11/19

A. General. HDHO lots and units shall be used for primary residential housing for actively employed households in perpetuity.

B. Deed Restriction. The following deed restriction shall be integrated into the development agreement, the master plan, each final plat or site plan, and each deed of conveyance:

The Property shall be used for Primary Residential Housing for Actively Employed Households as required by Grand County Land Use Code, Section 4.7, High Density Overlay Districts Overlay, in perpetuity. The Property is further subject to a ~~[this]~~ Development Agreement and ~~the [this]~~ Master Plan recorded ~~against the Property~~ in the real property records of Grand County, Utah, ~~on _____ at Entry No[s]. _____ [and _____, respectively].~~

Grand County reserves the right to revoke, deny or suspend any permit, including a land development permit, conditional use permit, building permit, certificate of occupancy, or discretionary approval upon a violation or breach of this Deed Restriction by a record owner of any HDHO Lot or Unit in Grand County.

C. Enforcement. In addition to other remedies preserved herein, Grand County reserves the right to revoke, deny or suspend any permit, including a land development permit, conditional use permit, building permit, certificate of occupancy, or discretionary approval upon a violation or breach of this section by a record owner of any HDHO lot or unit in Grand County.

[Ord. 591, 2019.]

4.7.8 HDHO District Application Revised 11/19

A. Preapplication Conference. Prior to submission of an HDHO District application, as defined in this section, the developer or subdivider shall meet with the Community and Economic Development Director or their designee(s), including other County staff deemed desirable or necessary by the Community and Economic Development Director, to discuss the procedures, standards, and regulations hereunder.

B. Procedure. An HDHO District application shall be reviewed and approved in accordance with the procedures of Section 9.2, Text and Zoning Map Amendments (Rezoning), and shall be considered to be a zoning map amendment.

C. Application. A developer or subdivider shall submit an HDHO District application with the information contained in Section 9.2.3 together with a development agreement, master plan, and conceptual site plan as follows:

1. The development agreement shall include the following information:
 - a. Legal description of the property;
 - b. Narrative summarizing the proposed development of the property by gross acre, number of lots or units, common area and open space acreage, overall character and architectural style, and other related development features as proposed by the developer or requested by the County;
 - c. Percentage of HDHO lots or units to be developed on the property; and
 - d. Deed restriction required by Section 4.7.6B.
2. The master plan shall include the following information:
 - a. Legal description of the property;
 - b. Number and location of lots or units to be developed on the property;
 - c. Percentage of HDHO lots or units to be developed on the property, including designation of the specific HDHO lots or units in accordance with Section 4.7.4; and
 - d. Identification of site planning features designed to ensure compatibility between proposed HDHO development and surrounding neighborhoods and land use.
3. The conceptual site plan shall include the information required under Sections 9.17.3A through N.

D. Recordation. The developer or subdivider shall record the development agreement and master plan in the real property records of Grand County, Utah, prior to recordation of a final plat approved hereunder or issuance of a building permit for any unit within a site plan approved hereunder. Once approved, the development agreement and master plan may not be amended or modified without reapplication to the County.

E. Effect. Review and consideration of an HDHO District application is a discretionary legislative decision. Further, approval of an HDHO District application does not constitute site plan, preliminary plat, or final plat approval. Rather, such approval shall be deemed approval of permission to develop under the standards of this section and the master plan.

F. Lapse of Approval. The HDHO District approval shall automatically expire and be void unless:

1. ~~T~~he County approves and developer records a site plan or final plat for the HDHO development in accordance with Sections 4.7.9 and 9.5 within 24 months of the date of HDHO District approval; ~~and,~~
2. The developer obtains a building permit for the units/lots within 24 months of the final plat recordation.

G. Conflict. In the event of conflict between the provisions of Section 9.2 and this Section 4.7.8, this section shall control.

[Ord. 591, 2019.]

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5.4 Part I: Residential Districts

5.4.1 Residential Development Standards

Development projects may include a mix of housing types as set forth in Section [3.1](#), Use Table.

A. Residential Density and Dimensional Standards

Residential development shall be subject to the maximum density and dimensional standards of the underlying base zoning district in accordance with the following table.

| Residential Zoning Districts | | | | | |
|--|-------|-------|--------|--------|--------|
| Development Standard | MFR | SLR | LLR | RR | RG |
| Max. Density (units/acre) | 8 | 5 | 2 | 1 | 0.20 |
| Minimum Lot Size (acres) | 0.13 | 0.20 | 0.50 | 1 | 5 |
| Min. Project Boundary Buffer Parcel Size | 5,445 | 8,712 | 21,780 | 21,780 | 21,780 |
| Min. Front Yard and Street Side Yard | 10' | 20' | 25' | 25' | 25' |
| Min. Interior Side Yard* | 10' | 10' | 10' | 15' | 15' |
| Min. Rear Yard | 10' | 10' | 20' | 20' | 20' |
| Min Lot Width* | 80' | 50' | 100' | 130' | 130' |
| Bldg. Coverage Max. | 55% | 45% | 25% | 25% | 25% |
| Max. Height Principal Structure | 28' | 28' | 35' | 35' | 35' |
| Max. Height Accessory Structure | 28' | 28' | 35' | 35' | 35' |
| *Side setback and min. lot width does not apply to townhome and multi-family shared walls. | | | | | |

Agenda Summary
GRAND COUNTY PLANNING COMMISSION
August 24, 2020

| | |
|-----------------------|--|
| TITLE: | Amendment 1 of Lot 10 All American Acres Replat Preliminary Plat |
| FISCAL IMPACT: | N/A |
| PRESENTER(S): | Planning and Zoning Administrator |

Prepared By:
PLANNING & ZONING
ADMINISTRATOR

FOR OFFICE USE ONLY:
Attorney Review:

N/A

MOTION :

I move to approve the preliminary plat for Amendment I of Lot 10 All American Acres Subdivision located at 4401 Easy Street, parcel number 02-0SAA-0010 conditioned on the following:

- An approved maintenance agreement recorded with the final plat to provide for common ownership and maintenance of the private access tract

STAFF RECOMMENDATION:

Staff recommends approval of the preliminary plat for the Amendment I of Lot 10 in All American Acres Subdivision.

BACKGROUND:

This is a four lot subdivision of Lot 10 of the All American Acres Subdivision at 4401 Easy Street. This property was approved for a Replat and Subdivision into two lots in April of 2020 with Resolution 3218, but applicants decided not to record the final resolution and instead pursue a Replat and Subdivision into four lots.

ATTACHMENT(S):

1. Staff Report
2. Preliminary Plat
3. Drainage Report
4. Title Report (available on request)
5. Tax Roll (available on request)
6. Application (available on request)



STAFF REPORT

COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT
GRAND COUNTY, UTAH

DATE: Monday, August 24, 2020

TO: Grand County Planning Commission

SUBJECT: Amendment 1 All American Acres Lot 10 Replat Subdivision

PROPERTY OWNER: Janice Kay Sackman

PROP. OWNER REP: Erik Hansen

ENGINEER: SET Engineering, James Green

PROPERTY ADDRESS: 4401 Easy Street

SIZE OF PROPERTY: 5.03 acres

EXISTING ZONE: Rural Residential (RR)

EXISTING LAND USE: Residential

ADJACENT ZONING AND LAND USE(S): Rural Residential (RR)

APPLICATION TYPE

Subdivision Replat. The applicant is requesting a division of an existing 5.03-acre lot into four (4) lots, Lot 1 is 1.00 acres, Lot 2 is 1.62 acres, Lot 3 is 1.07 acres and Lot 4 is 1.00 acres.

STAFF RECOMMENDATION: Approve

Comments (optional): This project is in substantial conformance with Grand County LUC and as such should be approved. The remaining condition is to ensure proper common ownership and maintenance of the private access tract. Applicant has proposed adding a maintenance agreement to the deeds for each lot, and this will be reviewed and approved by the County Attorney prior to final plat.

APPLICATION PROCEDURE

Decision Type: Choose an item.

Public Notices: Public Meeting at:

Planning Commission

County Council

Public Hearing at:

Planning Commission

County Council

Attachments:

Approval Letters

Site Plan

Landscape Plan

Vicinity Map

Legal Notice

Legal Description

Public Comments

Agency Comments

Response to Standards

Other: Click or tap here to enter text.

SUMMARY OF REQUEST

The subject property is 5.03 acres located at 4401 Easy Street. The proposed Replat of Amendment I of Lot 10, All American Acres Subdivision would create 4 lots, Lot 1 is 1.00 acres, Lot 2 is 1.62 acres, Lot 3 is 1.07 acres and Lot 4 is 1.00 acres.

SITE IMPROVEMENTS / ADDITIONS / CHANGES

The Preliminary Plat of Amendment I of Lot 10, All American Acres Subdivision as currently proposed would create one lot with access provided on Easy Street, and 3 lots with access from a private access tract. The development will extend water, sewer, & electrical utilities from Easy Street as needed. The existing residence has been connected to GWSSA infrastructure, which was a condition of their previous approval for a two lot subdivision. This current application will replace the previous approval, which was never recorded.

CONSIDERATIONS FOR APPROVAL, DENIAL, AND/OR POSTPONEMENT

Staff comments in red.

9.4.4 Issues for Consideration

The Planning Commission shall, in its action on the preliminary plat, consider Article 7, Subdivision Standards, the physical arrangement of the subdivision, and determine the adequacy of street right-of-way and alignment, the street standards of Grand County, the existing street pattern in the area and with all applicable provisions of the General Plan. The Planning Commission shall also ascertain that adequate easements for proposed or future utility service and surface drainage are provided, and that the lot size and area are adequate to comply with the minimum requirements for the underlying zone district and for the type of sanitary sewage disposal proposed. [Ord. 546, 2016.]

Article 7 Subdivision Standards

7.1 Scope and Applicability

7.1.1 Applicability

All plats and subdivision of land within the unincorporated portion of Grand County shall conform to the following rules and regulations.

7.1.2 Creation of Building Site

No permit for the construction of a building or buildings upon any tract or plot shall be issued until a building site, building tract or building lot has been created by compliance with one (1) of the following conditions:

- A. The lot or tract and is part of a plat of record, properly approved by the Grand County Council and filed in the plat records of Grand County, Utah, in which event a Building Permit for only one (1) principal use conforming to all the requirements of this LUC; or
- B. The parcel, tract or lot faces upon a dedicated street and was separately owned prior to the effective date of the original subdivision regulations of Grand County in which event a Building Permit for only one (1) principal use conforming to all the requirements of this LUC may be issued on each such original separately-owned parcel without first complying with Section 7.1.2.

N/A; checked at building permit

7.2 Building lots

7.2.1 Lot Configuration

The lot size, width, depth, shape and orientation, and the minimum building setback lines shall be appropriate for the location of the subdivision and for the type of development and use contemplated and shall not be less than those specified as minimum standards by the zoning district. In addition, such lot configuration shall be in accordance with the General Site Planning Standards of Section 6.9. The depth and width of properties reserved or laid out for commercial and industrial purposes shall be adequate to provide for the off-street service and parking facilities required by the type of use and development contemplated.

This application conforms to these standards.

7.2.2 Side Lot Lines

Side lot lines shall be substantially at right angles to street lines unless otherwise approved by the Planning Commission.

This standard has been met.

7.2.3 Street Frontage Required

Each lot or building tract shall front upon a public street.

The private access tract serves three lots, and one lot takes access on Easy Street.

7.2.4 Double Frontage Lots

Double frontage lots shall be avoided, except where essential to provide separation of residential development from traffic or to overcome specific disadvantages of topography and orientation.

There are no double frontage lots in this development.

7.2.5 Flag Lots

Notwithstanding other provisions of this LUC to the contrary, flag shaped or panhandle shaped lots may be created in any zone if all of the following requirements are met:

- A. The lot has at least 20 feet of frontage on a dedicated public street, which frontage served as access only to the subject lot or parcel.
- B. The "handle" portion of the lot is at least 20 feet in width, and not more than 250 feet in length.
- C. The body of the lot meets the lot area and lot width requirements of the applicable zone.

There are no flag lots in this development, back lots are served by a private access tract.

7.2.6 Large Lots

Where the area is divided into larger lots than for normal County building sites and, in the opinion of the Planning Commission, any or all of the tracts are susceptible of being resubdivided, the original subdivision shall be such that the alignment of future street dedications may conform to the general street layout in the surrounding area and so that the larger tracts may be later subdivided in conformance with the requirements of this LUC and the minimum standards specified by the zoning district.

Lots are not large enough to be re-subdivided according to current zoning.

7.3 Streets

7.3.1 Applicability

On and after the passage of these regulations, all developers shall be required to construct asphalt or bituminous asphalt (chip and seal) streets in accordance with requirements of the Grand County Construction Standards. Other materials may be substituted if approved by the County Engineer and Road Supervisor.

Applicant will comply with this standard.

7.3.2 Street Layout

Unless otherwise approved by the Planning Commission, provisions shall be made for the extension of streets and in accordance with the requirements of the Grand County Transportation Plan and Grand County Construction Standards. All streets shall bear a logical relationship to the topography and to the location of existing or planned streets on adjacent properties. Adequate local streets shall be provided to accommodate the subdivision and provide access to lots. Where the layout of streets is not shown in the Grand County Transportation Plan, the arrangement of streets in a subdivision shall either:

- A. Provide for the continuation or appropriate projection to existing principal streets in surrounding areas; or
- B. Conform to a plan for a neighborhood or planned unit development approved by the Planning Commission to meet a particular situation where topographical or other conditions make continuance or conformance to existing streets impracticable or where neighborhood design makes a varied plan appropriate.

Private access tract will serve these lots.

7.3.3 Street Connections

The system of streets designated for the subdivision, except in unusual cases, must connect with streets already dedicated in adjacent subdivision; and where no adjacent connections are platted, must in general be the reasonable projection of streets in the nearest subdivided tracts, and must be continued to the boundaries of the tract subdivided, so that other subdivisions may connect therewith. Reserve strips of land controlling access to or egress from other property or to or from any street or alley or having the effect of restricting or damaging the adjoining property for subdivision purposes shall not be permitted in any subdivision unless such reserve strips are conveyed to the County in fee simple.

No other subdivisions will connect to this property, so the private access tract is acceptable.

7.3.4 Half Right-of-Way (R.O.W.)

Half Streets shall be prohibited except where essential to the reasonable development of the subdivision and where the Planning and Zoning Commission finds it will be practicable to require the dedication for the other half of a street when adjoining property is subdivided.

Half-width ROW has been dedicated on Easy Street.

7.3.5 Street Intersections

More than 2 streets intersecting at a point shall be avoided, except where it is impractical to secure a proper street system otherwise and all intersections shall be as near 90 degrees as possible and in no case shall the intersection angle being less than 60 degrees.

N/A - there is only one street in this subdivision.

7.3.6 Street Jogs

Non-intersecting streets with centerline offset of less than 125 feet shall not be approved.

N/A – there are no street jogs

7.3.7 Dead-End Streets

Dead-end streets, except for cul-de-sacs, shall be prohibited unless they are designed to connect with future streets on adjacent lands that have not been platted. In cases where these types of dead-end streets are allowed, a temporary turnaround with a minimum radius of 50 feet shall be constructed.

The private access tract functions essentially as a driveway, and fire department has approved the turnaround.

7.3.8 CulDeSacs

Culdesacs shall not exceed 1000 feet in length or serve more than 20 dwelling units and shall have a turnaround diameter of 100 feet, subject to the limitations of the Grand Construction Standards. Ordinarily, cul-de-sacs are discouraged as they do not result in a continuation or conformance to existing streets or streets pattern, and may be used only where unusual drainage or land ownership configurations exist that make other designs impractical.

N/A – no culdesacs

7.3.9 Alleys

1. No new alleys shall be accepted into the County’s maintained road system.
2. Alleys are to be privately maintained.
3. Alleys shall be as follows:
 - a. Right of way shall be a minimum of 20 feet and a maximum of 30 feet in width.
 - b. The intersection of an existing alley with a road shall provide adequate sight distance.
 - c. Alleys shall not intersect.
 - d. Pavement width shall be the full width of the right-of-way, except at intersections of roads, where curb returns with radii equal to the curb-to-property line dimension shall be constructed.

N/A – no alleyways

7.3.10 Highway Access Permit

A Highway Access Permit must be approved by UDOT for each new subdivision with direct access to a state highway. Turn lanes, frontage road(s), curb and gutter may be required along the entire highway frontage if required by UDOT.

N/A – no state highway is accessed by the subdivision

7.3.11 Street Design Standards

Street and alley widths, curves, grades design speed and centerline radius shall meet the Grand Construction Standards, which is summarized, in part, as follows:

| STREET DESIGN STANDARDS | | | | | | | | |
|-------------------------|-----------------|-----------------|--------------|---------------|-------------|--------------|----------------------|-------|
| Design Features | Major Collector | Minor Collector | Local Type 1 | Local Type II | Public Lane | Private Lane | Private Access Tract | Alley |
| Number of lanes | 4 | 2 | 2 | 2 | 2 | 2 | 2 | 2 |
| Lane width (ft.) | 12' | 12' | 11' | 11' | 11' | 11' | 8' | 10' |

| | | | | | | | | |
|------------------------------|------|------|-------|-------|-------|-------|-------|-------|
| Surface width (ft.) | 60' | 50' | 34' | 24' | 24' | 24' | 16' | 20-30 |
| Rights-of-way width (ft.) | 80' | 66' | 56' | 56' | 56' | 44' | 24' | 20-30 |
| Design speed (mph) | 35 | 35 | 25-30 | 20-30 | 20-30 | 20-30 | 10-15 | 10-15 |
| Maximum grade (%) | 8% | 8% | 10% | 12% | 12% | 12% | 12% | 12% |
| Min. centerline radius (ft.) | 450' | 450' | 250' | 150 | 150' | 150' | 75' | |

B. Street Grade and Curves

Streets may have a maximum grade of 8 to 12 percent, as specified in this subsection, above. The applicant shall provide justification for all proposed grades in excess of six percent. All grades in excess of six percent require approval of the County Engineer and Road Superintendent. Centerline grade changes with an algebraic difference of more than 1 percent shall be connected with vertical curves of sufficient length to provide a minimum 200 feet of sight distance. No vertical curve shall be less than 200 feet in length.

C. Street Curve Radii

All collectors shall have a minimum horizontal radius per the Grand county Construction Standards. The applicant shall provide justification for all propose substandard curvature. All design exceptions require approval of the County Engineer and the Road Superintendent.

D. Construction and Dedication of Internal Streets

Streets shall be constructed by the developer and dedicated to the County, along with all necessary rights-of-way, with no pro-rata share from the County.

E. Turn By-Passes and Turn Lanes

Right-turn by-passes or left-turn lanes may be required at the intersection of collector streets if traffic conditions indicated they are needed. Sufficient rights-of-way shall be dedicated to accommodate such lanes when they are required.

F. Street Names and Numbers

All street names shall be as established subject to approval of the Planning Commission. When streets are in alignment with existing streets, any new streets shall be named according to the streets with which they correspond. Streets which do not fit into an established street-naming pattern shall be named in a manner which will not duplicate or be confused with existing streets within the County or its environs. Street numbers shall be assigned by the County Recorder.

All streets conform to these standards.

7.4 Sidewalks and Trails 

7.4.1 Applicability

A. This section is intended to ensure adequate pedestrian access is available to serve uses that need and benefit from such access. Subdividers shall be required to build sidewalks along both sides of all streets adjacent to building sites in the NB, GB, and HC districts and adjacent to building sites in all residential zone districts and in the NB, Neighborhood Business District, and the GB, General Business District, except where the average lot size is more than ½ acre. In addition, subdividers shall be required to build sidewalks along both sides of Highway 191 in the HC, Highway Commercial District within one (1) mile of Moab City limits. Alternatively, the Planning and Zoning Commission may require trails in lieu of sidewalk requirements, where trails are more appropriate to serve the proposed use and site.

B. A one-time expansion of the floor area of buildings on a lot or building tract not exceeding 25 percent of the existing floor area shall not be subject to the requirements of this section.

C. If a builder or property owner believes that a proposed use does not need or benefit from pedestrian access, a written request for interpretation per Section 9.2.8, Interpretations of Text and Zoning Map, may be submitted to the Zoning Administrator describing the use and explaining why pedestrian access should not be required as a condition of the building permit for the proposed use.

No sidewalks are required on Easy Street as per original subdivision. Private access tracts do not warrant sidewalks.

7.4.2 Sidewalks

Sidewalks shall be 5 feet in width in the NB, Neighborhood Business District and in the GB, General Business District; or 6 feet in width if installed adjacent to a curb. Sidewalks built in all other districts shall be 4 feet in width. The construction specification of all sidewalks will conform to the Grand Construction Standards (maintained in the office of the Grand County Road Superintendent).

N/A – no sidewalks required

7.4.3 Trails

Trails in Grand County shall be designed as multi-use trails and shall conform to the following standards:

| TRAIL DESIGN STANDARDS | | | | | | | | | |
|------------------------|---------------|-------------|--------------|------------|----------|-------------------|--------|---------|----------|
| | X-Slope Range | Tread Width | R.O.W. Width | Clearing | | Surface Materials | | | |
| | | | | horizontal | vertical | natural | gravel | asphalt | concrete |
| Multi-use Trails | 0-10% | 8' | 15' | +3' | 10' | Pref. | Pref. | No | No |

No trails are planned in this subdivision.

7.5 Street lighting

The developer shall pay the costs of purchasing and installing all street lighting equipment. Street lighting design plans shall be subject to the approval of the County. The type of equipment, method of installation and location of the wiring and light poles shall meet the minimum standards and requirements of the electric company from which electricity is to be purchased. All street lighting shall be shielded and directed toward the ground so as to minimize horizontal view and visibility of the light source. All intersection with a major collector street shall have at least one street light.

No streetlights are required or planned; there are no public streets in this development.

7.6 Easements

7.6.1 Utility Easements Required

Utility easements shall be provided in all residential areas unless otherwise approved by the Planning Commission and in commercial and industrial districts, except that the Planning Commission may waive the requirement where other definite and assured provision is made for service access consistent with and adequate for the uses proposed.

Utility easements have been dedicated. PUE is shown.

7.6.2 Minimum Width

The minimum rights-of-way width of each utility easement shall be 10 feet.

This has been satisfied.

7.6.3 Utility Easements

Utility easements shall be provided of 10 feet in width on each side of all rear lot lines and 5 feet in width on each side of side lot lines. Where the rear or side lot lines abut property outside of the subdivision on which there are no rear or side lot line easements at least 5 feet in width, the easements on the rear and side lot lines in the subdivision shall be 10 feet in width.

Utility easements are sufficient dimensions.

7.6.4 Potable Water and Sewer Easements

Water and sewer easements shall be a minimum of 20 feet in width.

None needed / easement in private access tract which is 24' wide.

7.6.5 T-Intersections and Cul-De-Sacs

Easements 20 feet in width shall be provided in T-intersections and cul-de-sacs for the continuation of utilities or drainage improvements, if necessary.

All appropriate easements have been dedicated in the private access tract.

7.6.6 Fire Lanes and Emergency Access Easements

Fire lanes and emergency access easements 20 feet in width shall be provided where required by the Fire Chief.

Fire Chief has approved access.

7.6.7 Drainage Easements

When a proposed subdivision is traversed by an irrigation ditch or channel, natural creek or stream or a proposed drainage easement, an easement shall be provided sufficient for drainage and to allow for maintenance of the ditch.

None needed.

7.6.8 Trail Easements

When a proposed subdivision is traversed by a public trail shown on an adopted plan or when the Planning Commission finds that a trail easement can better serve the proposed development than a sidewalk, a 15 feet wide easement shall be provided sufficient for public trail construction, maintenance and access purposes in accordance with the provisions of Section [7.4](#).

N/A – no trails

7.6.9 Adjoining Areas

When easements in areas adjoining proposed subdivisions are necessary to provide adequate drainage thereof or to serve such subdivisions with utilities, the developer shall obtain such easements.

N/A – there are no easements necessary in adjoining areas

7.7 Drainage

7.7.1 Applicability

A subdivider shall provide, at his expense, drainage structures in accordance with the requirements of the Grand Construction Standards, which will become integral parts of the existing street or roadway drainage system. The dimensions of all drainage structures must be approved by the County Engineer prior to installation. Design shall be based on environmentally sound site planning and engineering techniques. It is especially critical that storm water management systems be designed for an entire drainage basin rather than just for specific sites. If improvements are identified and necessary in the Grand County Storm Drainage Master Plan downstream of the proposed development to Pack or Mill Creek and no approved capital improvement plan exists to address the necessary improvement the developer shall be required to demonstrate that such existing drainage features are adequate to serve the anticipated development and to protect the public health, safety, and general welfare at full build out under existing zoning. Where such demonstration is not made, the developer shall be required to install the necessary improvements as identified in the Grand County Storm Drainage Master Plan.

Applicant has not been required to install structures, and has provided a drainage report.

7.7.2 Minimum Standards

A. Natural and Historic Drainage Ways

1. All historic flood and drainage ways as outlined in the Spanish Valley Master Storm Water Management Plan shall be protected from alteration such that their primary function as storm water facilities shall be upheld.
2. Each subdivider shall agree on behalf of himself and his successors, assigns to pay his pro rata share of costs for the protection and upgrading of the Storm Water Management System at such time as said system shall be extended to service the structure or development for which the plat approval is sought.

B. 100-Year Storm

All drainage and flood control facilities shall be designed in accordance with the Grand County Storm Drain Master Plan as amended and at a minimum to handle the calculated difference between historic flows and the anticipated post-development 100-year frequency storms for maximum period of intensity over the entire drainage basin which the subdivision serves, and they shall be made in accordance with the approved improvement plan. The “100- year storm” referred to herein shall mean that storm run-off is calculated on the basis of a fully developed watershed.

C. Exception

Outside the Spanish Valley and the drainage basins that are tributary to Pack Creek or flow directly into the Spanish Valley, all drainage and flood control shall be based on a 100-year frequency storm.

D. Erosion

Where free fall of water occurs, satisfactory means shall be provided to prevent erosion of soil. Culverts 48 inches and larger shall have concrete head walls and wing walls.

E. Catch Basins

Catch basins shall be constructed in accordance with the Grand County Construction Standards.

F. Engineered Design

All drainage shall be designed by a Utah registered engineer.

These standards have been met.

7.8 Water Supply

7.8.1 General

New development shall provide water supply that is sufficient in terms of quality, quantity and dependability for the proposed development. [Where private water systems are proposed, water rights information and water system design and capacity should be provided.] In making its determination as to whether the proposed water supply meets this standard, the decision-making body shall give substantial weight to the recommendations of the Grand County Health Department; the State Engineer; the Department of Environmental Quality, Southeast Utah Division; service provider(s); the County Engineer and other County staff. All water systems in the unincorporated portion of Spanish Valley shall be provided by or through the Grand Water and Sewer Service Agency and meet all applicable requirements of the Grand Construction Standards.

Applicants have a will-serve from GWSSA and have hooked up the existing residence to sewer as required. The existing residence uses a well for culinary water.

7.8.2 Culinary Water Authority

The Grand Water and Sewer Service Agency is hereby designated as the Culinary Water Authority. The written approval of the Culinary Water Authority shall be required prior to the approval of any subdivision plat within the Grand Water and Sewer Service Agencies service area.

Applicants have a will-serve from GWSSA.

7.8.3 Municipal and District Water Systems

If all or part of a proposed development is within 1320 feet of an approved public water system, then the applicant must obtain a written certification from the public water service provider stating that it is able to provide an adequate supply of drinking water with adequate quantity, quality and sufficient pressure to meet the needs of the proposed development based on the projected water usage of the development. Individual or common wells or other private water systems shall be permitted only when the subdivision boundary is more than 1320 feet from the nearest approved public water system able to serve the development.

Applicants have a will-serve from GWSSA.

7.9 Fire Protection

7.9.1 General

All subdivisions (except Minor Record Surveys), planned unit developments, commercial developments and industrial developments shall comply with the fire protection standards of this section. New development shall provide fire protection that is sufficient in terms of quality, quantity and dependability for the proposed development. In making its determination as to whether the proposed fire protection system meets this standard, the decision-making body shall give substantial weight to the recommendations of the Local Fire District, service provider(s), the County Engineer and other County staff.

A. In The Moab Valley Fire Protection District

All potable water lines, fire hydrants and appurtenances shall be designed and constructed to meet the Grand Construction Standards. Fire hydrants shall be provided to serve new subdivisions in the Moab Valley Fire Protection District sufficient to maintain a Class 5, or current, fire rating by the Insurance Service Office ("ISO").

B. Outside the Moab Fire Protection District

Whenever installation of fire hydrants is not practical, as determined by the Grand County Fire Warden, the applicant shall agree to an alternate fire protection plan. An alternate fire protection plan (i.e., plans other than fire hydrants and fire protection district service) shall be subject to the approval of Grand County and the Grand County Fire Warden. The County may approve an alternate fire protection plan that is comprised of an adequate combination of fire prevention, notification and suppression measures including, but not limited to, the following:

1. A mutual aid agreement with a nearby fire district;
2. Special service districts;
3. Plat note warnings to consumers; e.g., "fire protection may not be available";
4. Class A or B roof coverings;
5. Non-combustible or fire-resistant siding materials;
6. Shall provide adequate water supply pursuant to the current adopted Utah Wildland-Urban Interface Code, Section 404.5 Adequate Water Supply.,
7. Fire sprinklers in all living areas, garages and mechanical (furnace) rooms;
8. Fire extinguishers and equipment;
9. Spark arrests (12 gauge welded or woven wire mesh up to ½" wire mesh) on chimneys and flues;
10. Local fire fighting forces; and/or,
11. Clustered development, surrounded by a clear zone (fuel break) of at least 100 feet.

Applicant has complied with all fire department requirements applicable to this stage and will comply with the rest on building permit.

7.10 Sewage Disposal

7.10.1 General

New development shall provide sanitary sewage disposal that is sufficient in terms of quality, quantity and dependability for the proposed development. In making its determination as to whether the proposed sewage disposal plan meets this standard, the decision-making body shall give substantial weight to the recommendations of the Grand County Health Department, service provider(s), County Engineer, and other County staff.

GWSSA approves of this plan.

7.10.2 Sanitary Sewer Authority

The Grand Water and Sewer Service Agency is hereby designated as the Sanitary Sewer Authority. The written approval of the Sanitary Sewer Authority shall be required prior to the approval of any subdivision plat within the Grand Water and Sewer Service Agencies service area.

Applicant has obtained a will-serve from GWSSA.

7.10.3 Municipal and District Sewer Systems

If all or part of a proposed development is within 1320 feet of an approved public sewer system, then the applicant must obtain a written certification from the public sewer service provider stating that it is able to provide sewer service to meet the needs of the proposed development. Individual septic tank systems, or other private sewage systems, shall be permitted only when the nearest point of the subdivision boundary is more than 1320 feet from an existing approved sanitary sewer system, except that no septic systems shall be permitted within the boundaries of the Valley Aquifer Impact Zone. All sanitary sewer service and facilities in the Spanish Valley provided by or through a sewer improvement district or a municipal system shall comply with all applicable requirements of the Grand Construction Standards or municipal service requirements, as appropriate.

No septic systems are required.

7.11 Underground utilities

All utilities shall be placed underground, except transformers, switching boxes, and terminal boxes

Utilities will be and are currently underground on this parcel.

COMPATABILITY WITH GENERAL PLAN

Staff believes the proposed subdivision is supported by the General Plan.

COMPATABILITY WITH LAND USE CODE (ZONING)

The subject property is zoned Rural Residential (RR). The proposed density would comply with the density limits of the Grand County LUC.

LAND USE CODE REFERENCE SECTIONS

Article 5.4.1 Residential Development Standards, Article 7 Subdivision Standards, Article 9.9 Replats

PROPERTY HISTORY

There is an existing residence which will remain on one of the newly created lots.

In April 2020, this property was approved for a Replat and Subdivision into two lots with Resolution 3218, but applicants decided not to record the final resolution, and instead pursue a Replat and Subdivision into four lots.



ENGINEERING

PRELIMINARY
DRAINAGE STUDY
HANSEN SUBDIVISION

PRELIMINARY PLAT APPLICATION
GRAND COUNTY, UTAH
August 19, 2020

SET Engineering



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| | |
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Appendix A: DR01 – Site, Utility, and Drainage Plan

Appendix B: Grand County Storm Drain Master Plan Basin Map – Figure 2-26

Appendix C: Detention Pond Calculations

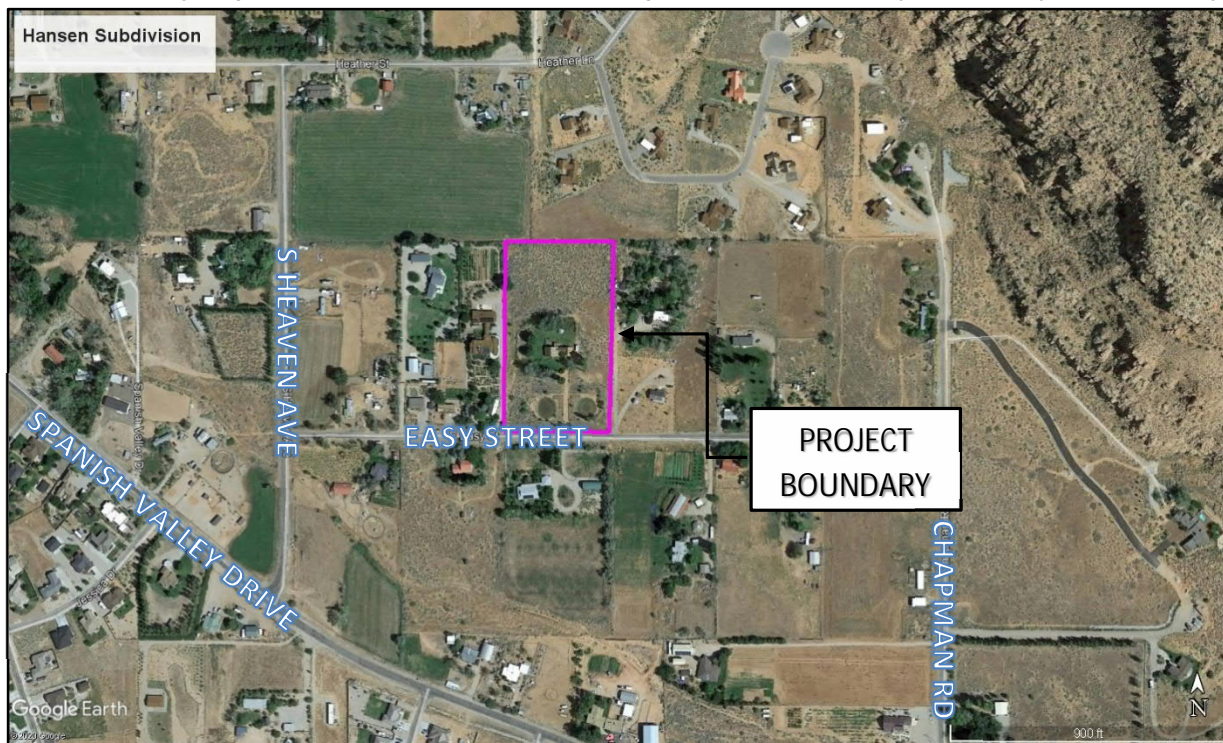
Appendix D: Soil Type Location and Information (NRCS)

Appendix E: Hydrologic Calculations – Win TR-55 Input and Results, including TR-20 results

BACKGROUND

This drainage report has been developed to satisfy the Grand County Preliminary Plat Application requirements and is consistent with the methodology and recommendations outlined in the Grand County Design Criteria for Drainage Studies within Spanish Valley. The intent of this report is to compare the post-development runoff parameters from the proposed development to the historic stormwater runoff patterns, analyze the impact, and to develop appropriate mitigation measures to meet County requirements.

The project site is located at 4401 Easy Street road and is approximately 5 acres in size within the Spanish Valley area. The project will subdivide one existing parcel into 4 lots; the subdivision will place the existing residence on its own lot and create 3 additional lots for future residential development. Refer to the Preliminary Plat. The project is in Grand County Large Lot Residential (LLR) Zone. The image below shows the project boundary and the vicinity.



Aerial image of the site and existing surroundings

EXISTING CONDITIONS

The site has an existing residence that will remain. The property is surrounded by single-family developments.

The topography and drainage patterns of the site generally flow to the west at 2.5 percent slope on average. The native soils consist of fine sandy loam that are considered well-draining Type A Soils per the NRCS. A NRCS Soils Report can be found in the Appendix.

Stormwater runoff generally sheet flows to the west-southwest. There is no tributary area to the site. Adjacent street drainage flows along Easy Street in roadside swales. No other storm drain systems exist, nor are any proposed or identified in the County Stormwater Master Plan.

The site is not within a FEMA designated floodplain.

PROPOSED CONDITIONS

The project's drainage plan will maintain historic drainage patterns and will limit grading improvements. Proposed improvements are limited to access driveways and buildings per County Code. The existing residence on Lot 2 will remain as is. Additional impervious area for Lots 1-4 are classified as a 1-acre land use as part of the subdivision level improvements. Water and sewer services will be provided to all lots. There is no evidence of any drainage issues requiring mitigation. See drainage basin map and hydrology calculations in the Appendix.

Hydrology and Drainage Basin Summary:

The property was analyzed as a single drainage basin to compare historic and proposed runoff parameters. Since the drainage basin consists of the site area only, each of the 4 lots should have their own small detention pond in order to mitigate an increase in runoff. A typical lot in this development would have approximately 7,500 square feet of impervious surface plus 1/4 of the access road. As a result, the typical detention pond size to mitigate the increase in runoff would be 125 cubic feet in size per Lot. See the detention basin calculations in the Appendix.

ONSITE DETENTION AND WATER QUALITY

As required by Grand County design requirements, the NRCS TR-55 method was used to determine hydrologic calculations and subsequently used to determine detention volumes. Per the Grand County Drainage Manual design requirements, in Region 1, the allowable release rate shall be 0.03 cfs/acre. Refer to the discussion above.

The proposed detention pond designs will be sized to release a net peak flow rate of 0.03 cfs per acre during a 100-year 24-hour storm event as required per design guidelines. However, the outlet structures for the detention ponds will have a minimum orifice outlet size of 6 inches per the County's design requirements.

In addition, the soils in the vicinity of the project location have a very high K_{sat} value and can infiltrate water at a rate of 6 to 20 inches/hour (NRCS Type A soils), which would allow the full pond volumes to drain in a short amount of time. Runoff which does not infiltrate during the larger events will be discharged through a proposed outlet orifice and, if need be, emergency spillway.

WATER QUALITY

Impervious areas should be disconnected to allow opportunity for infiltration. If erosion occurs, the sediment should be allowed to settle out into the native well-draining soils prior to discharging runoff. Water quality BMPs should be incorporated into final outlet structure design prior to construction.

OPERATIONS AND MAINTENANCE

The following are recommendations to implement within the site to provide for a functioning drainage system after installation and stabilization:

- Mow or "weed whack" drainage swale ditches annually and prior to rainy season.
- Inspect condition of drainage swales, make repairs to continue to provide runoff conveyance as shown in the drainage plan.
- Inspect condition of drainage swales annually, make repairs as required to provide for adequate detention as shown in the drainage plan. This may require minor grading to remove sediment and maintain shape of facilities.

EROSION CONTROL

Construction activities that disturb one or more acres of land must be authorized under the Utah Pollutant Discharge Elimination System (UPDES). Owners and general contractors are required to obtain a Storm Water Permit. This permit covers infrastructure construction for the project. Residential construction for each lot is not covered by this permit and erosion control during the residential construction phase will be the responsibility of the lot owner or builder.

The owner and contractor shall complete a SWPPP if is more than one acre is disturbed. As general guidance, the following strategy shall generally be implemented. A more detailed plan shall be developed upon submittal for State permit but shall, at a minimum, meet City requirements.

EROSION CONTROL PHASING OUTLINE STRATEGY:

1. PHASE 1 - MOBILIZATION

1.1. ESTABLISH VEHICLE TRACKING CONTROL (VTC), STAGING AND STORAGE AREAS (SSA), AND CONCRET WASHOUT (CWA) AREAS FOR INFRASTRUCTURE CONSTRUCTION

1.2. INSTALL ROCK CHECK DAMS ALONG EXISTING ROADSIDE DITCHES AS NEEDED.

1.3. INSTALL SANITARY FACILITIES AND ANCHOR APPROPRIATELY.

1.4. INSTALL SILT FENCE AND PERIMETER CONTROLS

1.5. INSTALL SEDIMENT BASINS

2. PHASE 2 - INFRASTRUCTURE CONSTRUCTION

2.1. INSTALL CIP AT INLET OF EACH CULVERT AS CONSTRUCTED

2.2. REPLACE AND REPAIR ROCK CHECK DAMS

2.3. PROVIDE STREET SWEEPING AS NECESSARY INSTALL ROCK CHECK DAMS ALONG EXISTING ROADSIDE DITCH

2.4. MAINTAIN SSA, VTC, AND CWA DURING CONSTRUCTION ACTIVITIES

2.5. INSTALL SEEDING OR OTHER REVEGETATION TECHNIQUES ON DISTURBED AREAS.

3. PHASE 3 - ESTABLISHMENT

3.1. REMOVE VTC, SSA, AND CWA AREAS

3.2. INSTALL PS IN ALL DISTURBED AREAS PER MANUFACTURES RECOMMENDATION

3.3. RCD AND CIP SHALL REMAIN IN PLACE UNTIL REVEGETATION IS 70% ESTABLISHED

3.4. BUILDING CONSTRUCTION SHALL BE COMPLETED UNDER SEPARATE PERMIT

METHODOLOGY

In order to be consistent with the Grand County drainage policies, volumes and storage release design for detention facilities were developed using the NRCS Technical Release No. 55 or Technical Release No. 20 method. The detention facility will utilize simple orifice and weir structures to control releases from the detention facility.

As approved by Grand County design requirements, the NRCS TR-55 method was used to determine hydrologic calculations and subsequently used to determine required detention volumes. Per the Grand County Drainage Manual design requirements, in Type A soils, the allowable release rate shall be 0.03 cfs/acre.

Assumptions used in hydraulic calculations of these facilities are as follows:

- In using the NRCS method for calculating detention volume requirements, runoff from all sub-basins contributing to the pond was assumed to be the summation of the peak flows, which conservatively assumes those flows reached the pond at the same time. Further, the runoff amount required for the method used (in inches) was assumed to be the average of the runoff amounts from all the contributing sub-basins.

APPENDICES

Appendix A: C100 – Site, Utility, and Drainage Plan

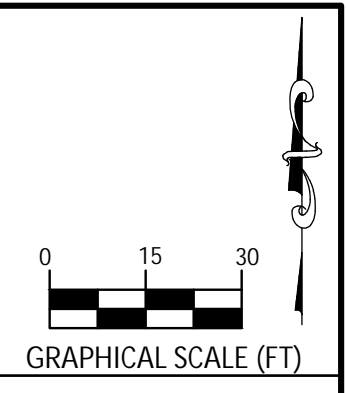
Appendix B: Grand County Storm Drain Master Plan Basin Map – Figure 2-26

Appendix C: Detention Pond Calculations

Appendix D: Soil Type Location and Information (NRCS)

Appendix E: Hydrologic Calculations – Win TR-55 Input and Results, including TR-20 results

HANSEN SUBDIVISION GRAND COUNTY, UTAH



CIVIL SITE PLAN
FOR PRELIMINARY PLAT
08/19/2020

APPLICANT
MR. ERIK HANSEN
4401 EASY STREET
MOAB, UTAH 84532

CIVIL ENGINEER
SET ENGINEERING
1309 13TH ST. #206
DURANGO, CO 81301

LAND USE DATA

PARCEL ID: 02-OSAA-0010
ZONE: RR
GROSS LAND AREA: 5.03 AC. ±
SETBACKS: PER CODE
BLDG HEIGHT: PER CODE

SITE PLAN NOTES

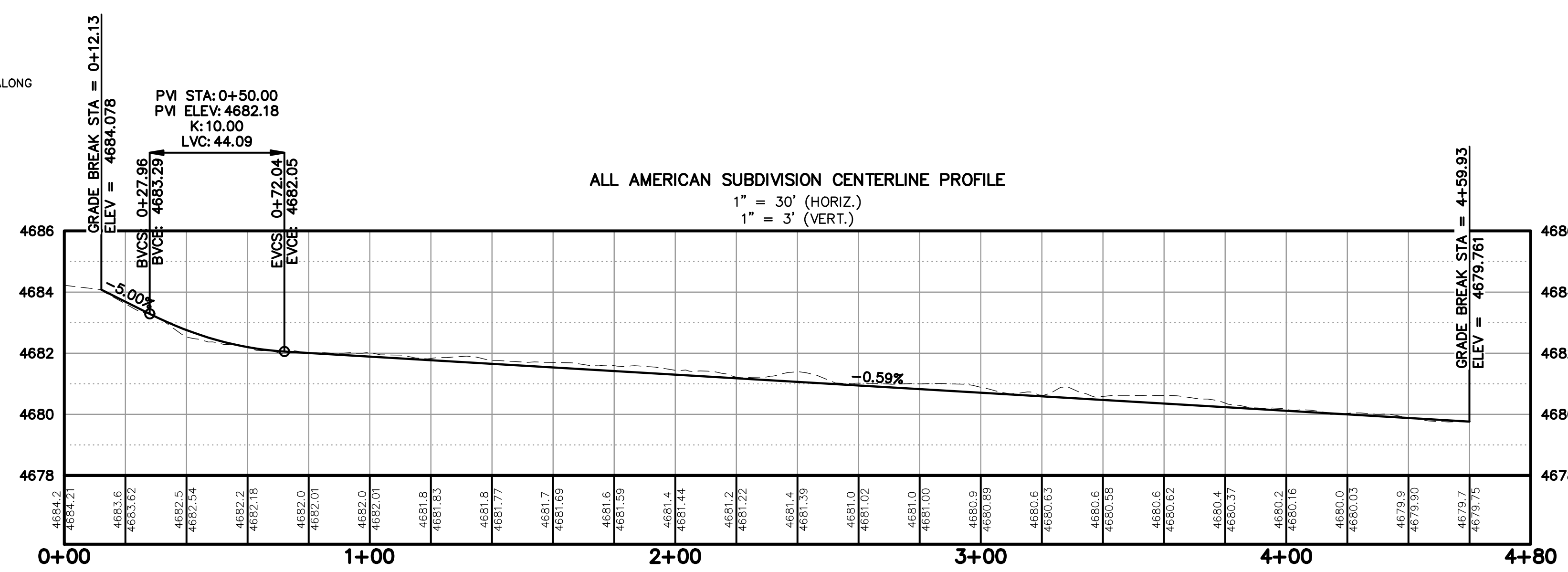
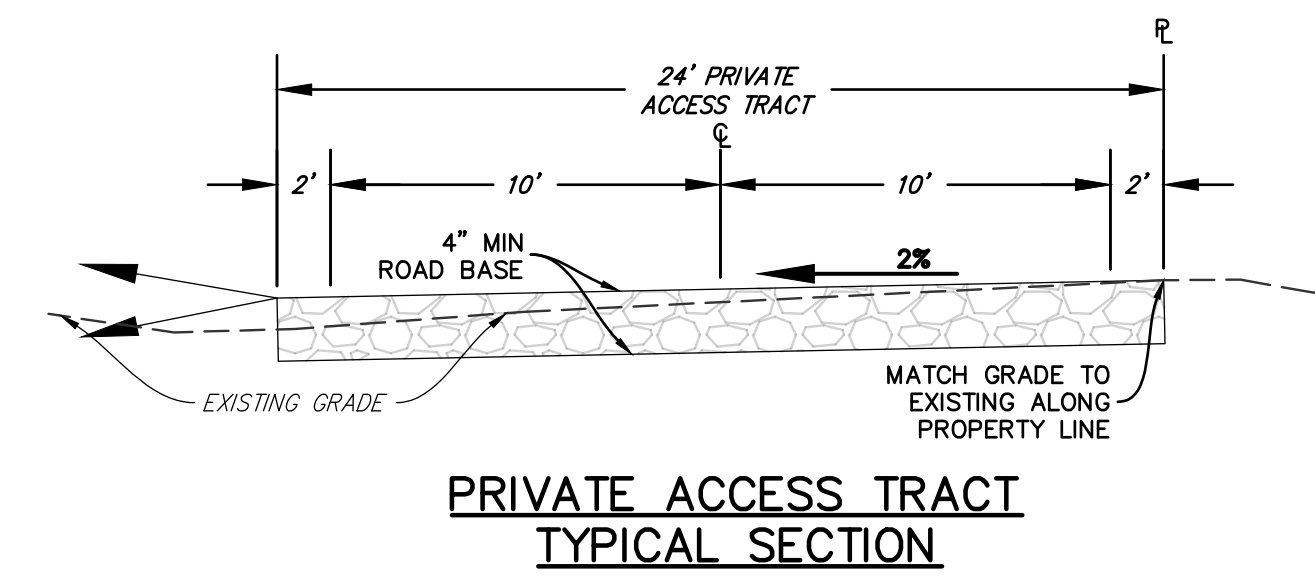
1. SETBACKS SHALL BE PER GRAND COUNTY CODE.
2. SEE PRELIMINARY PLAT FOR LOT SIZE AND DIMENSIONS.

UTILITY NOTES

1. EXISTING CONDITIONS WERE PROVIDED BY RED DESERT LAND SURVEYING.
2. WATER AND SEWER SERVICE SHALL BE PROVIDED BY GRAND WATER AND SEWER SERVICE AGENCY (GWSSA). ALL WATER AND SEWER IMPROVEMENTS SHALL MEET GWSSA STANDARDS AND REQUIREMENTS.
3. INDIVIDUAL WATER AND SEWER SERVICE LINE SHALL BE INSTALLED FOR LOTS 3 AND 4. SERVICE LINE LOCATIONS ARE SUBJECT TO CHANGE AT FINAL DESIGN.
4. FRANCHISE (GAS, ELECTRIC, TELECOM) UTILITY SERVICE SHALL BE DESIGN BY UTILITY PROVIDER.

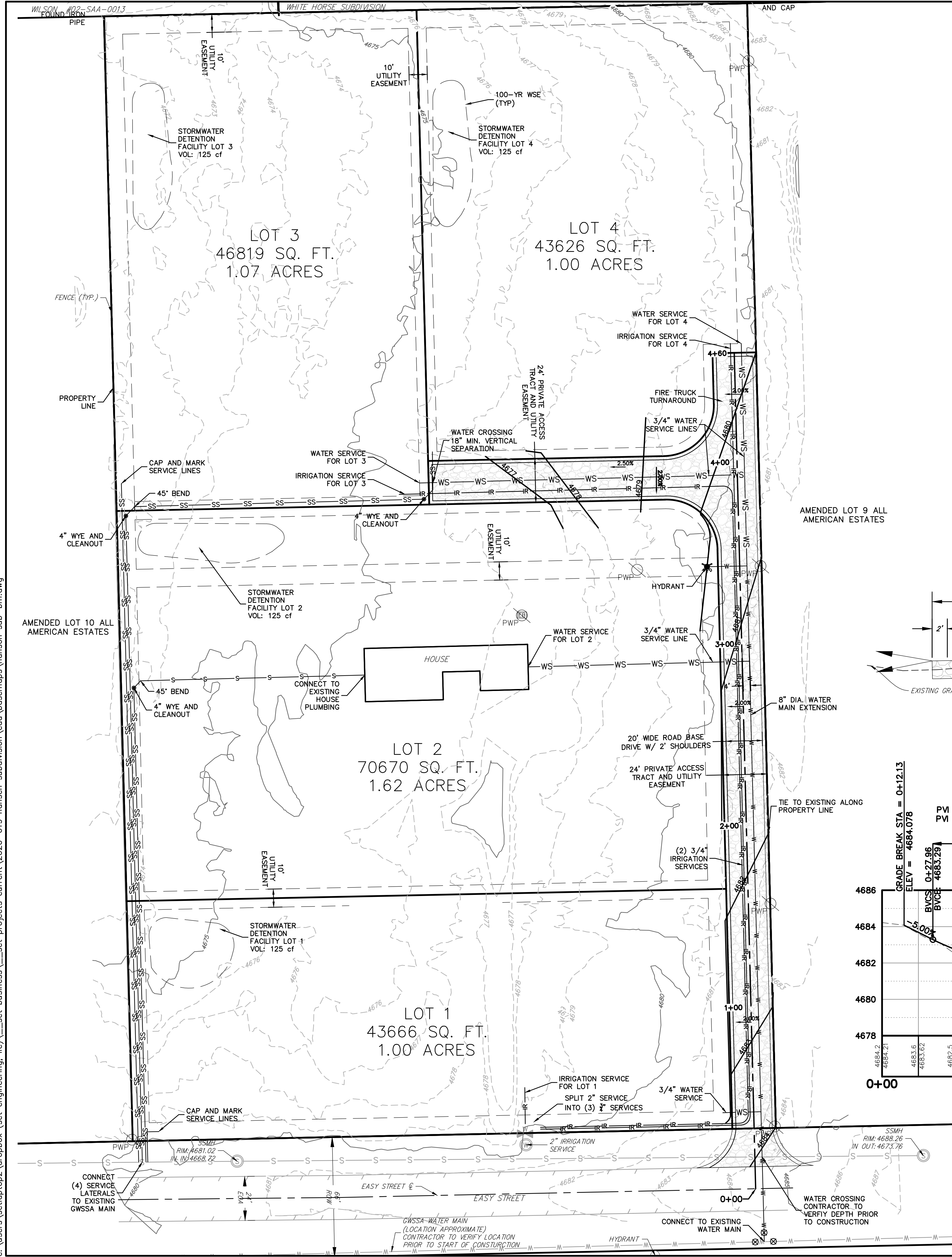
GRADING, DRAINAGE AND EROSION CONTROL NOTES

1. CONTRACTOR SHALL PROVIDE NECESSARY FACILITIES AND OBTAIN ALL NECESSARY PERMITS TO PROVIDE ADEQUATE CONSTRUCTION PHASE STORMWATER MANAGEMENT INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - VEHICLE TRACKING PAD
 - STABILIZED CONSTRUCTION STAGING AND STORAGE AREA
 - STREET SWEEPING
 - PERIMETER CONTROLS (SILT FENCE OR STRAW WATTLES)
2. DRAINAGE IMPROVEMENT PLANS FOR EACH BUILDING SHALL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION IF REQUIRED.



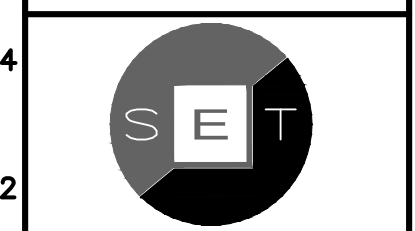
LEGEND

| | EXISTING | PROPOSED |
|---------------|----------|----------|
| STORM DRAIN | | |
| SWALE | | |
| WATER MAIN | | |
| SEWER MAIN | | |
| CONTOUR MAJOR | | |
| CONTOUR MINOR | | |



| REVISIONS # | DATE | DESCRIPTION |
|-------------|------|-------------|
| | | |
| | | |
| | | |
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| | | |

HANSEN SUBDIVISION
CIVIL SITE PLAN
GRAND COUNTY, UTAH



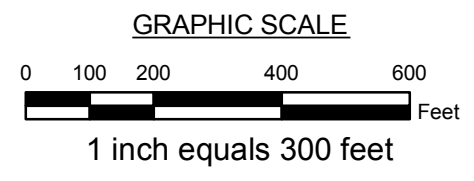
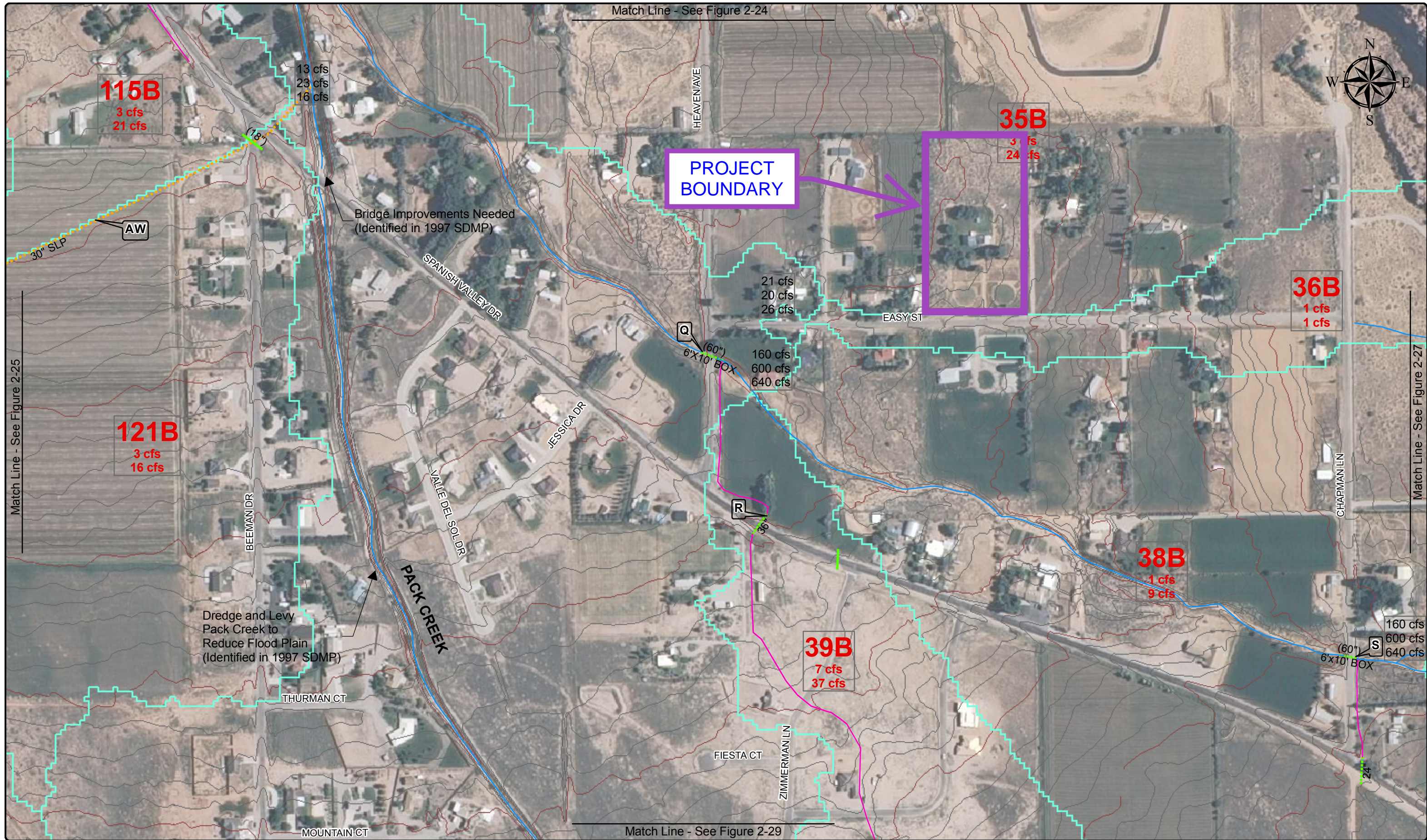
ENGINEERING, LLC
1309 E. 3rd Ave., #206
Durango, CO 81301
970-403-5088

PLAN NO.
C100

Sheet 1 of 1
Project: HANSEN SUBDIVISION
Date: 08/19/2020
Drawn By: CSS
Checked By: JAG

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

c:\users\settop2\dropbox (set_engineering, llc)\set_business\set_projects\current\2020-019 hansen subdivision\cad\basemaps\hansen_sub-bm.dwg



| LEGEND | |
|--------|------------------------|
| | Existing Stream/Ditch |
| | Proposed Stream/Ditch |
| | Exist. Detention Basin |
| | Prop. Detention Basin |
| | Existing Culvert |
| | Proposed Culvert |
| | Existing Pipe |
| | Proposed Pipe |
| | Drainage Basin |

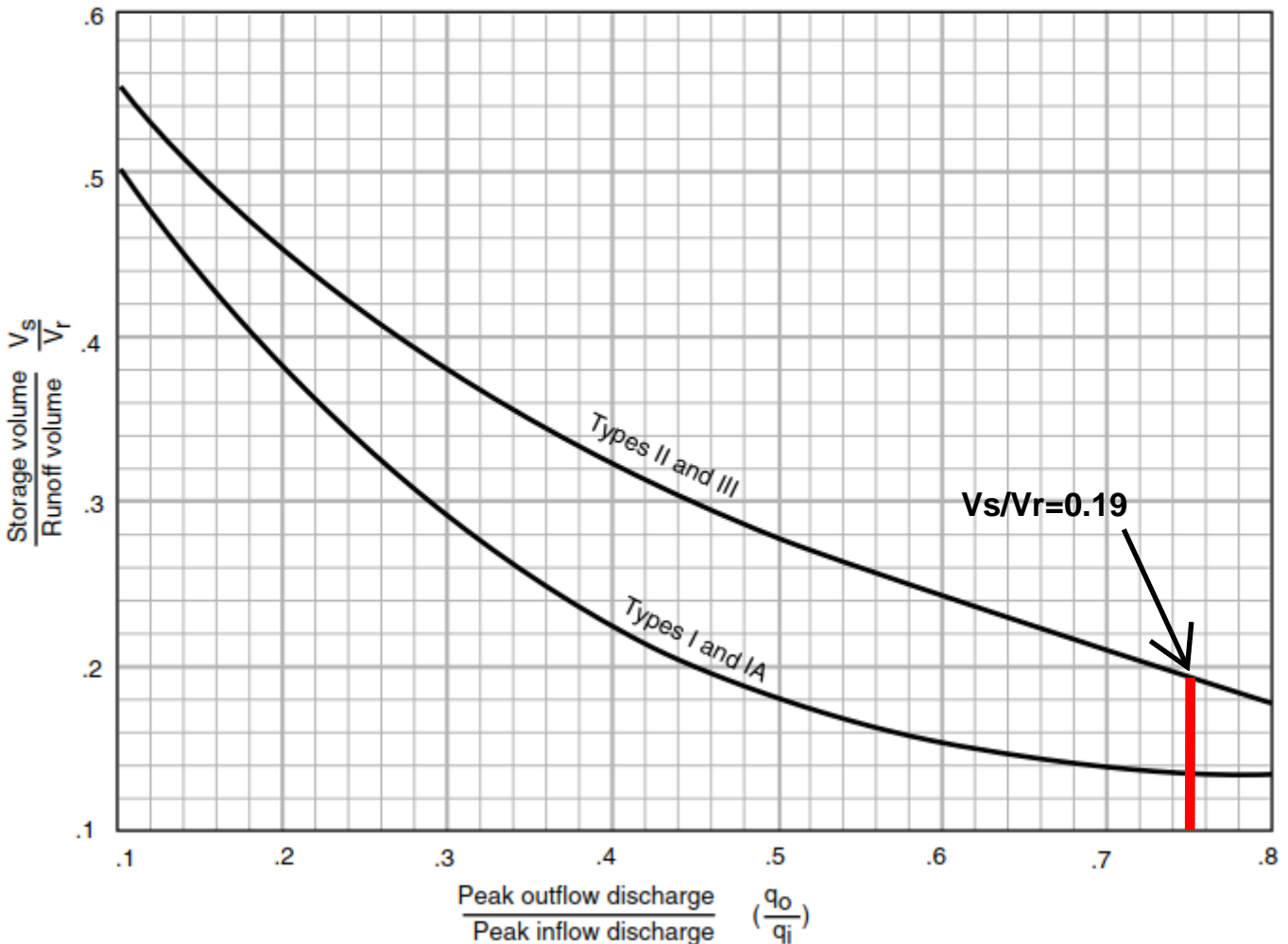
Hansen Subdivision
 Detention Volume Calculation - NRCS TR-55 Method

| Project | | | |
|--|-------|--------|--|
| | Wide | Units | Notes |
| Area | 5.03 | ac | |
| q_o | 0.15 | cfs | Greater of two values (historic 100-year 24-hr storm runoff peak rate of discharge and .03 cfs/acre County design requirement) was used for analysis |
| q_i | 0.20 | cfs | Post-development 100-year 24-hr storm runoff peak rate of discharge |
| q_o/q_i | 0.75 | | |
| V_s/V_r | 0.19 | | NRCS Figure 6-1, Type II Rainfall |
| $V_r = 53.33 \times Q(A_m)$ | | | |
| $A_m =$ | 5.03 | ac | |
| $A_m =$ | 0.008 | sq. mi | |
| $Q =$ | 0.119 | in | Proposed runoff in in. from Win TR55 TR-20 Report (100-yr storm) |
| $V_r =$ | 0.05 | ac-ft | |
| $V_s = V_r \left(\frac{V_s}{V_r} \right)$ | | | |
| $V_s =$ | 0.009 | ac-ft | |
| $V_s =$ | 412.8 | cf | Detention Volume Required |
| $V_s =$ | 495.4 | cf | Detention Volume Required (20% Increase per Drainage Criteria requirements) |
| $V_{provided} =$ | 500.0 | cf | Detention Volume Provided |

500 cf / 4 lots* = 125 cf per lot

*Lots 1-4 will provide detention to attenuate proposed project runoff to allowable rates.

Figure 6-1 Approximate detention basin routing for rainfall types I, IA, II, and III





United States
Department of
Agriculture

NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

Custom Soil Resource Report for Canyonlands Area, Utah - Parts of Grand and San Juan Counties

All American Subdivision



Preface

Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist (http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

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How Soil Surveys Are Made

Soil surveys are made to provide information about the soils and miscellaneous areas in a specific area. They include a description of the soils and miscellaneous areas and their location on the landscape and tables that show soil properties and limitations affecting various uses. Soil scientists observed the steepness, length, and shape of the slopes; the general pattern of drainage; the kinds of crops and native plants; and the kinds of bedrock. They observed and described many soil profiles. A soil profile is the sequence of natural layers, or horizons, in a soil. The profile extends from the surface down into the unconsolidated material in which the soil formed or from the surface down to bedrock. The unconsolidated material is devoid of roots and other living organisms and has not been changed by other biological activity.

Currently, soils are mapped according to the boundaries of major land resource areas (MLRAs). MLRAs are geographically associated land resource units that share common characteristics related to physiography, geology, climate, water resources, soils, biological resources, and land uses (USDA, 2006). Soil survey areas typically consist of parts of one or more MLRA.

The soils and miscellaneous areas in a survey area occur in an orderly pattern that is related to the geology, landforms, relief, climate, and natural vegetation of the area. Each kind of soil and miscellaneous area is associated with a particular kind of landform or with a segment of the landform. By observing the soils and miscellaneous areas in the survey area and relating their position to specific segments of the landform, a soil scientist develops a concept, or model, of how they were formed. Thus, during mapping, this model enables the soil scientist to predict with a considerable degree of accuracy the kind of soil or miscellaneous area at a specific location on the landscape.

Commonly, individual soils on the landscape merge into one another as their characteristics gradually change. To construct an accurate soil map, however, soil scientists must determine the boundaries between the soils. They can observe only a limited number of soil profiles. Nevertheless, these observations, supplemented by an understanding of the soil-vegetation-landscape relationship, are sufficient to verify predictions of the kinds of soil in an area and to determine the boundaries.

Soil scientists recorded the characteristics of the soil profiles that they studied. They noted soil color, texture, size and shape of soil aggregates, kind and amount of rock fragments, distribution of plant roots, reaction, and other features that enable them to identify soils. After describing the soils in the survey area and determining their properties, the soil scientists assigned the soils to taxonomic classes (units). Taxonomic classes are concepts. Each taxonomic class has a set of soil characteristics with precisely defined limits. The classes are used as a basis for comparison to classify soils systematically. Soil taxonomy, the system of taxonomic classification used in the United States, is based mainly on the kind and character of soil properties and the arrangement of horizons within the profile. After the soil

Custom Soil Resource Report

scientists classified and named the soils in the survey area, they compared the individual soils with similar soils in the same taxonomic class in other areas so that they could confirm data and assemble additional data based on experience and research.

The objective of soil mapping is not to delineate pure map unit components; the objective is to separate the landscape into landforms or landform segments that have similar use and management requirements. Each map unit is defined by a unique combination of soil components and/or miscellaneous areas in predictable proportions. Some components may be highly contrasting to the other components of the map unit. The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The delineation of such landforms and landform segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Soil scientists make many field observations in the process of producing a soil map. The frequency of observation is dependent upon several factors, including scale of mapping, intensity of mapping, design of map units, complexity of the landscape, and experience of the soil scientist. Observations are made to test and refine the soil-landscape model and predictions and to verify the classification of the soils at specific locations. Once the soil-landscape model is refined, a significantly smaller number of measurements of individual soil properties are made and recorded. These measurements may include field measurements, such as those for color, depth to bedrock, and texture, and laboratory measurements, such as those for content of sand, silt, clay, salt, and other components. Properties of each soil typically vary from one point to another across the landscape.

Observations for map unit components are aggregated to develop ranges of characteristics for the components. The aggregated values are presented. Direct measurements do not exist for every property presented for every map unit component. Values for some properties are estimated from combinations of other properties.

While a soil survey is in progress, samples of some of the soils in the area generally are collected for laboratory analyses and for engineering tests. Soil scientists interpret the data from these analyses and tests as well as the field-observed characteristics and the soil properties to determine the expected behavior of the soils under different uses. Interpretations for all of the soils are field tested through observation of the soils in different uses and under different levels of management. Some interpretations are modified to fit local conditions, and some new interpretations are developed to meet local needs. Data are assembled from other sources, such as research information, production records, and field experience of specialists. For example, data on crop yields under defined levels of management are assembled from farm records and from field or plot experiments on the same kinds of soil.

Predictions about soil behavior are based not only on soil properties but also on such variables as climate and biological activity. Soil conditions are predictable over long periods of time, but they are not predictable from year to year. For example, soil scientists can predict with a fairly high degree of accuracy that a given soil will have a high water table within certain depths in most years, but they cannot predict that a high water table will always be at a specific level in the soil on a specific date.

After soil scientists located and identified the significant natural bodies of soil in the survey area, they drew the boundaries of these bodies on aerial photographs and

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identified each as a specific map unit. Aerial photographs show trees, buildings, fields, roads, and rivers, all of which help in locating boundaries accurately.

Soil Map

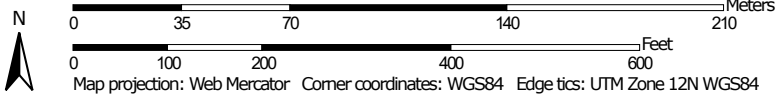
The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

Custom Soil Resource Report Soil Map




Soil Map may not be valid at this scale.

Map Scale: 1:2,440 if printed on A landscape (11" x 8.5") sheet.




MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)




















Soils







 Soil Map Unit Polygons

 Soil Map Unit Lines


 Soil Map Unit Points

Special Point Features






-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features


Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Canyonlands Area, Utah - Parts of Grand and San Juan Counties
 Survey Area Data: Version 14, Sep 16, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 31, 2009—Jun 2, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background

MAP LEGEND

MAP INFORMATION

imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

| Map Unit Symbol | Map Unit Name | Acres in AOI | Percent of AOI |
|------------------------------------|---|--------------|----------------|
| 80 | Sheppard fine sand, 2 to 8 percent slopes | 31.4 | 100.0% |
| Totals for Area of Interest | | 31.4 | 100.0% |

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Custom Soil Resource Report

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Canyonlands Area, Utah - Parts of Grand and San Juan Counties

80—Sheppard fine sand, 2 to 8 percent slopes

Map Unit Setting

National map unit symbol: 1vn8
Elevation: 4,600 to 5,000 feet
Mean annual precipitation: 6 to 8 inches
Mean annual air temperature: 52 to 54 degrees F
Frost-free period: 150 to 170 days
Farmland classification: Not prime farmland

Map Unit Composition

Sheppard and similar soils: 70 percent
Minor components: 30 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Sheppard

Setting

Landform: Sand sheets on cuestas, sand sheets on structural benches
Down-slope shape: Linear, convex
Across-slope shape: Convex, linear
Parent material: Eolian deposits derived from sandstone

Typical profile

A - 0 to 3 inches: fine sand
C - 3 to 60 inches: fine sand

Properties and qualities

Slope: 2 to 8 percent
Depth to restrictive feature: More than 80 inches
Natural drainage class: Excessively drained
Runoff class: Low
Capacity of the most limiting layer to transmit water (Ksat): High to very high (6.00 to 20.00 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum in profile: 10 percent
Salinity, maximum in profile: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)
Available water storage in profile: Low (about 4.2 inches)

Interpretive groups

Land capability classification (irrigated): 3e
Land capability classification (nonirrigated): 7e
Hydrologic Soil Group: A
Ecological site: Desert Sand (Sand Sagebrush) (R035XY115UT)
Hydric soil rating: No

Minor Components

Trail

Percent of map unit: 10 percent

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Arches

Percent of map unit: 10 percent

Nakai

Percent of map unit: 10 percent

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United States Department of Agriculture, Soil Conservation Service. 1961. Land capability classification. U.S. Department of Agriculture Handbook 210. http://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/nrcs142p2_052290.pdf

WinTR-55 Current Data Description

--- Identification Data ---

User: SET ENG Date: 6/24/2020
 Project: Hansen Subdivision Units: English
 SubTitle: Appendix E - Hydrologic Calculations Areal Units: Acres
 State: Utah
 County: Grand
 Filename: C:\Users\SETLAPTOP2\Dropbox (SET Engineering, LLC)__SET Business__SET Projects current\

--- Sub-Area Data ---

| Name | Description | Reach | Area(ac) | RCN | Tc |
|-----------------------|-------------|--------|----------|-----|-------|
| Proposed | | Outlet | 5.03 | 51 | 0.237 |
| Total area: 5.03 (ac) | | | | | |

--- Storm Data --

Rainfall Depth by Rainfall Return Period

| 1-Yr (in) | 2-Yr (in) | 5-Yr (in) | 10-Yr (in) | 25-Yr (in) | 50-Yr (in) | 100-Yr (in) |
|--------------|--------------|--------------|---------------|---------------|---------------|----------------|
| .93 | 1.55 | 1.93 | 2.23 | 2.6 | 2.95 | 3.25 |

Storm Data Source: User-provided custom storm data
 Rainfall Distribution Type: Type II
 Dimensionless Unit Hydrograph: <standard>

SET ENG

Hansen Subdivision
Appendix E - Hydrologic Calculations
Grand County, Utah

Storm Data

Rainfall Depth by Rainfall Return Period

| 1-Yr (in) | 2-Yr (in) | 5-Yr (in) | 10-Yr (in) | 25-Yr (in) | 50-Yr (in) | 100-Yr (in) |
|--------------|--------------|--------------|---------------|---------------|---------------|----------------|
| .93 | 1.55 | 1.93 | 2.23 | 2.6 | 2.95 | 3.25 |

Storm Data Source: User-provided custom storm data
Rainfall Distribution Type: Type II
Dimensionless Unit Hydrograph: <standard>

SET ENG

Hansen Subdivision
Appendix E - Hydrologic Calculations
Grand County, Utah

Watershed Peak Table

| Sub-Area or Reach Identifier | Peak Flow by Rainfall Return Period | | |
|------------------------------------|-------------------------------------|----------------|-----------------|
| | 2-Yr (cfs) | 10-Yr (cfs) | 100-Yr (cfs) |
| ----- | | | |
| SUBAREAS | | | |
| Proposed | .00 | .00 | 0.20 |
| | | | |
| REACHES | | | |
| OUTLET | .00 | .00 | 0.20 |

SET ENG

Hansen Subdivision
Appendix E - Hydrologic Calculations
Grand County, Utah

Hydrograph Peak/Peak Time Table

| Sub-Area or Reach Identifier | Peak Flow and Peak Time (hr) by Rainfall Return Period | | |
|------------------------------------|--|------------------------|-------------------------|
| | 2-Yr (cfs) (hr) | 10-Yr (cfs) (hr) | 100-Yr (cfs) (hr) |
| ----- | | | |
| SUBAREAS | | | |
| Proposed | .00 n/a | .00 n/a | 0.20 12.18 |

REACHES

| | | | |
|--------|-----|-----|------|
| OUTLET | .00 | .00 | 0.20 |
|--------|-----|-----|------|

SET ENG

Hansen Subdivision
Appendix E - Hydrologic Calculations
Grand County, Utah

Sub-Area Summary Table

| Sub-Area Identifier | Drainage Area (ac) | Time of Concentration (hr) | Curve Number | Receiving Reach | Sub-Area Description |
|---------------------|--------------------|----------------------------|--------------|-----------------|----------------------|
| Proposed | 5.03 | 0.237 | 51 | Outlet | |
| ----- | | | | | |
| Total Area: | 5.03 (ac) | | | | |

SET ENG

Hansen Subdivision
Appendix E - Hydrologic Calculations
Grand County, Utah

Sub-Area Time of Concentration Details

| Sub-Area Identifier/ | Flow Length (ft) | Slope (ft/ft) | Mannings's n | End Area (sq ft) | Wetted Perimeter (ft) | Velocity (ft/sec) | Travel Time (hr) |
|----------------------|------------------|---------------|--------------|------------------|-----------------------|-----------------------|------------------|
| ----- | | | | | | | |
| Proposed | | | | | | | |
| SHEET | 100 | 0.0250 | 0.150 | | | | 0.215 |
| SHALLOW | 250 | 0.0250 | 0.025 | | | | 0.022 |
| | | | | | | Time of Concentration | 0.237 |
| | | | | | | | ===== |

SET ENG

Hansen Subdivision
Appendix E - Hydrologic Calculations
Grand County, Utah

Sub-Area Land Use and Curve Number Details

| Sub-Area Identifier | Land Use | Hydrologic Soil Group | Sub-Area Area (ac) | Curve Number |
|------------------------------------|--------------------------------|-----------------------|--------------------|--------------|
| Proposed | Residential districts (1 acre) | A | 5.03 | 51 |
| Total Area / Weighted Curve Number | | | 5.03 | 51 |
| | | | ==== | == |

WinTR-20 Printed Page File Beginning of Input Data List
 TR20.inp

WinTR-20: Version 1.10 0 0 0.05
 Hansen Subdivision
 Appendix E - Hydrologic Calculations

SUB-AREA:
 Proposed Outlet .00786 51. .237

STREAM REACH:

STORM ANALYSIS:
 2-Yr 1.55 Type II 2
 10-Yr 2.23 Type II 2
 100-Yr 3.25 Type II 2

STRUCTURE RATING:

GLOBAL OUTPUT:
 2 0.05 YYYYN YYYYNN

WinTR-20 Printed Page File End of Input Data List

Hansen Subdivision
 Appendix E - Hydrologic Calculations

Name of printed page file:
 TR20.out

STORM 2-Yr

| Area or Reach Identifier | Drainage Area (sq mi) | Rain Gage ID or Location | Runoff Amount (in) | Elevation (ft) | Peak Time (hr) | Flow Rate (cfs) | Rate (csm) |
|--------------------------|-----------------------|--------------------------|--------------------|----------------|----------------|-----------------|------------|
| Proposed | 0.008 | | 0.0 | | 24.00 | 0.0 | 0.0 |
| OUTLET | 0.008 | | 0.0 | | 24.00 | 0.0 | 0.0 |

STORM 10-Yr

| Area or Reach Identifier | Drainage Area (sq mi) | Rain Gage ID or Location | Runoff Amount (in) | Elevation (ft) | Peak Time (hr) | Flow Rate (cfs) | Rate (csm) |
|--------------------------|-----------------------|--------------------------|--------------------|----------------|----------------|-----------------|------------|
| Proposed | 0.008 | | 0.0 | | 15.28 | 0.0 | 0.0 |
| OUTLET | 0.008 | | 0.0 | | 15.28 | 0.0 | 0.0 |

STORM 100-Yr

| Area or Reach Identifier | Drainage Area (sq mi) | Rain Gage ID or Location | Runoff Amount (in) | Elevation (ft) | Peak Time (hr) | Flow Rate (cfs) | Rate (csm) |
|--------------------------|-----------------------|--------------------------|--------------------|----------------|----------------|-----------------|------------|
| Proposed | 0.008 | | 0.119 | | 12.18 | 0.20 | 25.00 |

| Line Start Time (hr) | Flow (cfs) | Flow Values @ time (cfs) | increment (cfs) | of 0.015 hr (cfs) | Flow (cfs) | Flow (cfs) |
|----------------------|------------|--------------------------|-----------------|-------------------|------------|------------|
| 12.029 | 0.05 | 0.07 | 0.10 | 0.13 | 0.15 | 0.18 |
| 12.134 | 0.19 | 0.19 | 0.20 | 0.20 | 0.19 | 0.19 |
| 12.239 | 0.18 | 0.18 | 0.18 | 0.18 | 0.18 | 0.18 |
| 12.344 | 0.18 | 0.18 | 0.18 | 0.18 | 0.17 | 0.17 |
| 12.448 | 0.17 | 0.17 | 0.17 | 0.17 | 0.16 | 0.16 |
| 12.553 | 0.16 | 0.15 | 0.15 | 0.15 | 0.15 | 0.14 |
| 12.658 | 0.14 | 0.14 | 0.14 | 0.14 | 0.14 | 0.13 |
| 12.763 | 0.13 | 0.13 | 0.13 | 0.13 | 0.13 | 0.13 |
| 12.868 | 0.13 | 0.13 | 0.13 | 0.13 | 0.13 | 0.12 |

WinTR-20: Version 1.10 0 0 0.05
 n Subdivision (continued)
 Appendix E - Hydrologic Calculations

STORM 100-Yr

SUB-AREA:
 Proposed Outlet .00786 51. .237

STREAM REACH:

| | | | | | | | |
|--------|------|------|------|------|------|------|------|
| 18.316 | 0.06 | 0.06 | 0.06 | 0.06 | 0.06 | 0.06 | 0.06 |
| 18.421 | 0.06 | 0.06 | 0.06 | 0.06 | 0.05 | 0.05 | 0.05 |
| 18.526 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 |
| 18.630 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 |
| 18.735 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 |
| 18.840 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 |
| 18.945 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 |
| 19.050 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 |
| 19.154 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 |
| 19.259 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 | 0.05 |

Hansen Subdivision
 Appendix E - Hydrologic Calculations

| Area or Reach Identifier | Drainage Area (sq mi) | Rain Gage ID or Location | Runoff Amount (in) | Elevation (ft) | Peak Flow Time (hr) | Rate (cfs) | Rate (csm) |
|--------------------------|-----------------------|--------------------------|--------------------|----------------|---------------------|------------|------------|
| OUTLET | 0.008 | | 0.119 | | 12.18 | 0.20 | 25.00 |

| Line Start Time (hr) | Flow (cfs) | Values @ time (cfs) | increment (cfs) | of 0.015 hr (cfs) | Flow (cfs) | Flow (cfs) |
|----------------------|------------|---------------------|-----------------|-------------------|------------|------------|
| 12.029 | 0.05 | 0.07 | 0.10 | 0.13 | 0.15 | 0.17 |
| 12.134 | 0.19 | 0.19 | 0.20 | 0.20 | 0.19 | 0.19 |
| 12.239 | 0.18 | 0.18 | 0.18 | 0.18 | 0.18 | 0.18 |
| 12.344 | 0.18 | 0.18 | 0.18 | 0.18 | 0.17 | 0.17 |
| 12.448 | 0.17 | 0.17 | 0.17 | 0.17 | 0.16 | 0.16 |
| 12.553 | 0.16 | 0.15 | 0.15 | 0.15 | 0.15 | 0.15 |
| 12.658 | 0.14 | 0.14 | 0.14 | 0.14 | 0.14 | 0.13 |
| 12.763 | 0.13 | 0.13 | 0.13 | 0.13 | 0.13 | 0.13 |
| 12.868 | 0.13 | 0.13 | 0.13 | 0.13 | 0.13 | 0.12 |
| 12.972 | 0.12 | 0.12 | 0.12 | 0.12 | 0.12 | 0.12 |
| 13.077 | 0.12 | 0.12 | 0.12 | 0.12 | 0.12 | 0.12 |
| 13.182 | 0.11 | 0.11 | 0.11 | 0.11 | 0.11 | 0.11 |
| 13.287 | 0.11 | 0.11 | 0.11 | 0.11 | 0.11 | 0.11 |
| 13.391 | 0.11 | 0.11 | 0.11 | 0.11 | 0.11 | 0.11 |
| 13.496 | 0.10 | 0.10 | 0.10 | 0.10 | 0.10 | 0.10 |
| 13.601 | 0.10 | 0.10 | 0.10 | 0.10 | 0.10 | 0.10 |
| 13.706 | 0.10 | 0.10 | 0.10 | 0.10 | 0.10 | 0.10 |
| 13.811 | 0.10 | 0.10 | 0.09 | 0.09 | 0.09 | 0.09 |
| 13.915 | 0.09 | 0.09 | 0.09 | 0.09 | 0.09 | 0.09 |
| 14.020 | 0.09 | 0.09 | 0.09 | 0.09 | 0.09 | 0.09 |
| 14.125 | 0.09 | 0.09 | 0.09 | 0.09 | 0.09 | 0.09 |
| 14.230 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 |
| 14.335 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 |
| 14.439 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 |
| 14.544 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 |
| 14.649 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 |
| 14.754 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 |
| 14.858 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 |
| 14.963 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 |
| 15.068 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 |
| 15.173 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 |
| 15.278 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 | 0.08 |

WinTR-20 Printed Page File Beginning of Input Data List
TR20.inp

WinTR-20: Version 1.10 0 0 0.05 (continued)
n Subdivision
Appendix E - Hydrologic Calculations

STORM 100-Yr

SUB-AREA:
 Proposed Outlet .00786 51. .237

STREAM REACH:

WinTR-20 Version 1.10

Page 5

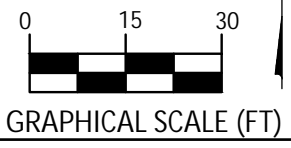
06/24/2020 9:38

WinTR-55, Version 1.00.10

Page 6

6/24/2020 9:40:39 AM

HANSEN SUBDIVISION GRAND COUNTY, UTAH



CIVIL SITE PLAN
FOR PRELIMINARY PLAT
08/19/2020

APPLICANT
MR. ERIK HANSEN
4401 EASY STREET
MOAB, UTAH 84532

CIVIL ENGINEER
SET ENGINEERING
1309 13TH ST. #206
DURANGO, CO 81301

LAND USE DATA

PARCEL ID: 02-OSAA-0010
ZONE: RR
GROSS LAND AREA: 5.03 AC. ±
SETBACKS: PER CODE
BLDG HEIGHT: PER CODE

SITE PLAN NOTES

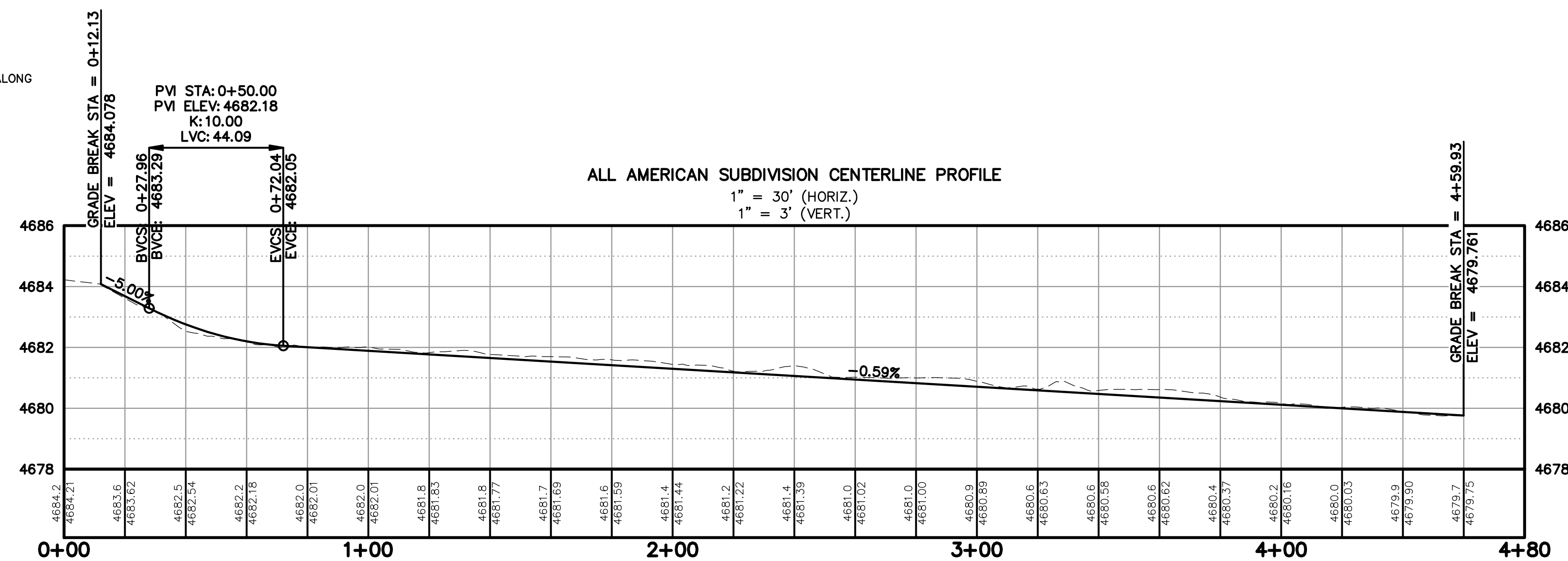
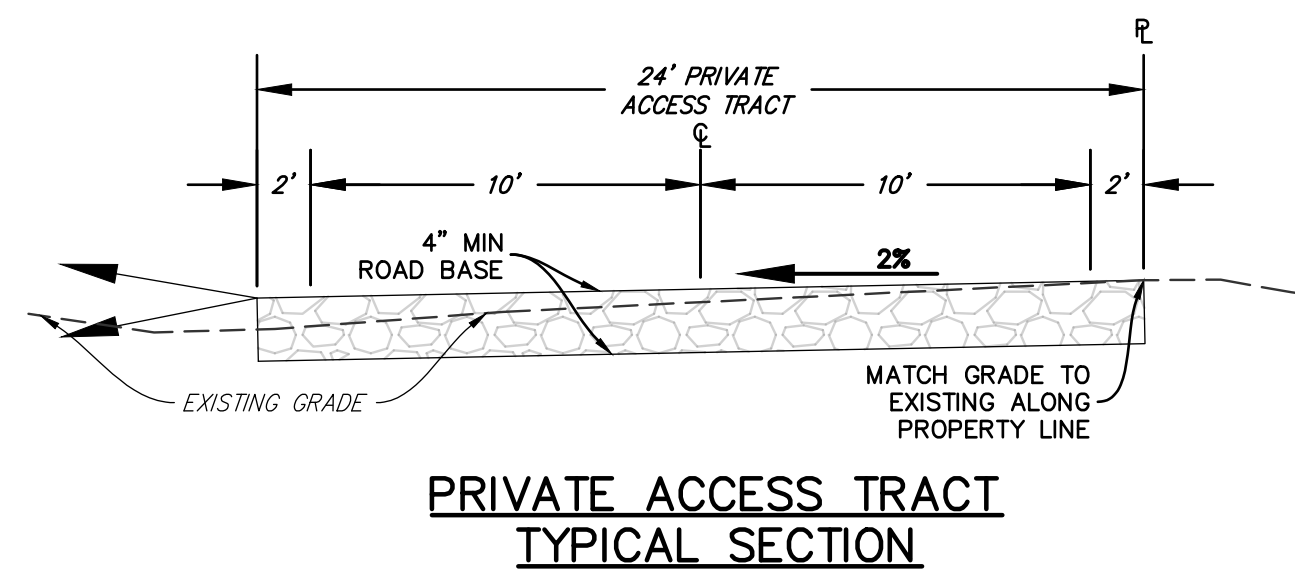
1. SETBACKS SHALL BE PER GRAND COUNTY CODE.
2. SEE PRELIMINARY PLAT FOR LOT SIZE AND DIMENSIONS.

UTILITY NOTES

1. EXISTING CONDITIONS WERE PROVIDED BY RED DESERT LAND SURVEYING.
2. WATER AND SEWER SERVICE SHALL BE PROVIDED BY GRAND WATER AND SEWER SERVICE AGENCY (GWSSA). ALL WATER AND SEWER IMPROVEMENTS SHALL MEET GWSSA STANDARDS AND REQUIREMENTS.
3. INDIVIDUAL WATER AND SEWER SERVICE LINE SHALL BE INSTALLED FOR LOTS 3 AND 4. SERVICE LINE LOCATIONS ARE SUBJECT TO CHANGE AT FINAL DESIGN.
4. FRANCHISE (GAS, ELECTRIC, TELECOM) UTILITY SERVICE SHALL BE DESIGN BY UTILITY PROVIDER.

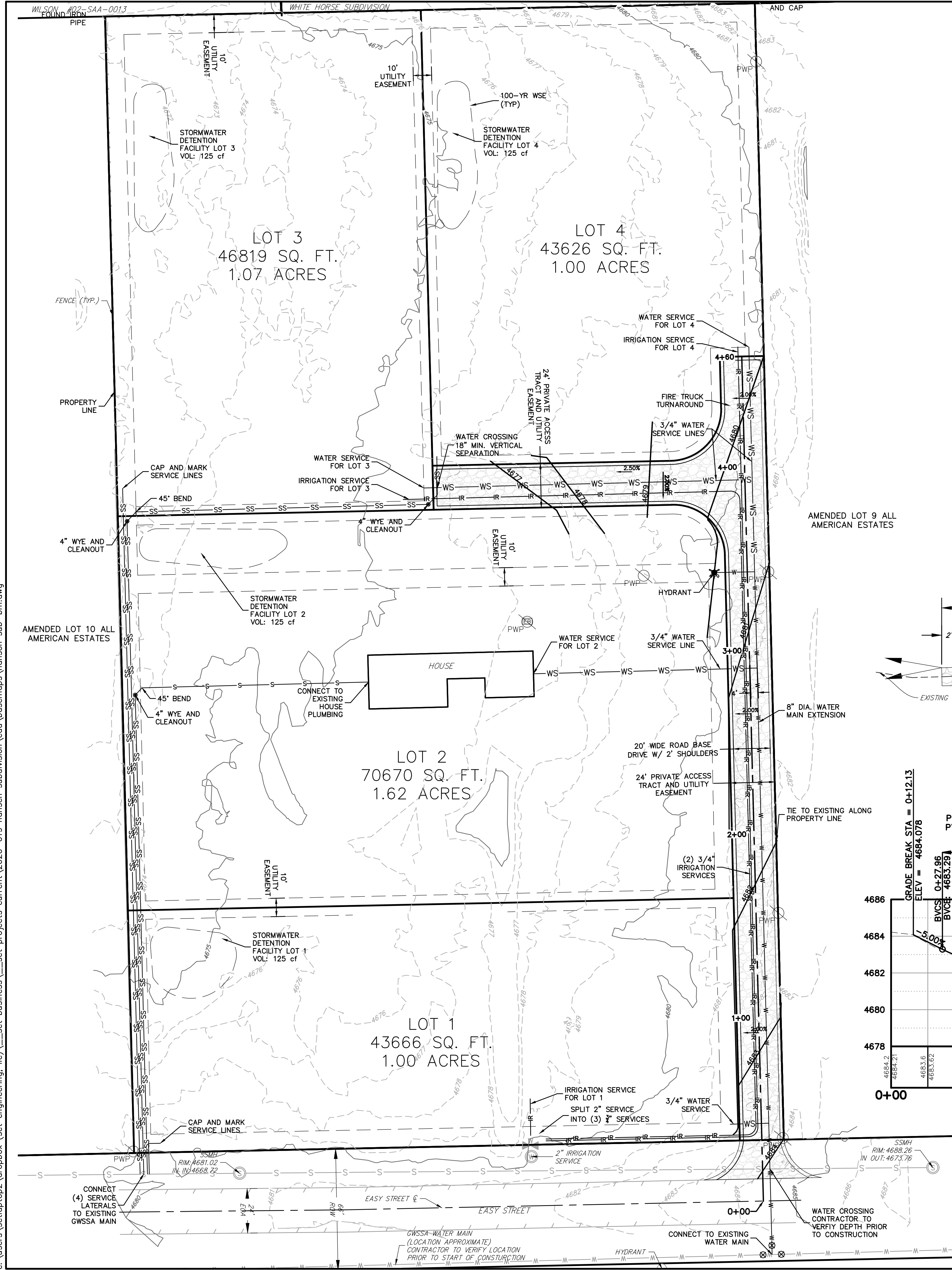
GRADING, DRAINAGE AND EROSION CONTROL NOTES

1. CONTRACTOR SHALL PROVIDE NECESSARY FACILITIES AND OBTAIN ALL NECESSARY PERMITS TO PROVIDE ADEQUATE CONSTRUCTION PHASE STORMWATER MANAGEMENT INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - VEHICLE TRACKING PAD
 - STABILIZED CONSTRUCTION STAGING AND STORAGE AREA
 - STREET SWEEPING
 - PERIMETER CONTROLS (SILT FENCE OR STRAW WATTLES)
2. DRAINAGE IMPROVEMENT PLANS FOR EACH BUILDING SHALL BE SUBMITTED WITH THE BUILDING PERMIT APPLICATION IF REQUIRED.



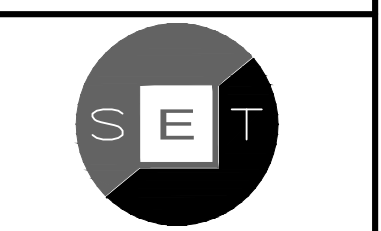
LEGEND

| | EXISTING | PROPOSED |
|---------------|----------|----------|
| STORM DRAIN | | |
| SWALE | | |
| WATER MAIN | | |
| SEWER MAIN | | |
| CONTOUR MAJOR | | |
| CONTOUR MINOR | | |



| REVISIONS # | DATE | DESCRIPTION |
|-------------|------|-------------|
| | | |
| | | |
| | | |
| | | |

HANSEN SUBDIVISION
CIVIL SITE PLAN
GRAND COUNTY, UTAH



ENGINEERING, LLC
1309 E. 3rd Ave., #206
Durango, CO 81301
970-403-5088

PLAN NO.
C100

Sheet 1 of 1
Project: HANSEN SUBDIVISION
Date: 08/19/2020
Drawn By: CSS
Checked By: JAG

FOR REVIEW ONLY
NOT FOR
CONSTRUCTION

c:\users\settop2\dropbox (set engineering, llc)\set_business\set_projects\current\2020-019 hansen subdivision\cad\basemaps\hansen_sub-bm.dwg



Grand Water & Sewer Service Agency
 3025 E Spanish Trail Rd ♦ PO Box 1046 ♦ Moab, Utah 84532
 435-259-8121 ♦ 435-259-8122 fax

AGENCY MANAGER
 Dana Van Horn

Memorandum

OPERATING COMMITTEE

Dan Pyatt (President)
 Gary Wilson (V President)
 Brian Backus
 Mike Holyoak
 Rex Tanner
 Rick Thompson
 Dale Weiss

TO: Mila Dunbar-Irwin
FROM: Dana Van Horn
SUBJECT: Lot 10 All American Acres
DATE: 8-19-2020
CC: James Green, Orion Rogers, Erik Hansen

FORMING BOARDS:

SVW&SID

Gary Wilson (Ch.)
 Mike Holyoak (V.Ch.)
 Dale Weiss (Treas.)
 Rick Thompson (Clerk)
 Ken Helfenbein

GCWCD

Dan Pyatt (Ch.)
 Jerry McNeely (V.Ch.)
 Brian Backus
 Preston Paxman
 Rex Tanner

GCSSWD

Gary Wilson (Ch.)
 Mike Holyoak (V. Ch.)
 Mike Duncan
 Rick Thompson
 Gabriel Woytek

Mila,

Erik Hansen of All American Acres Lot 10 abandoned the existing septic system for the existing home and connected to the Sanitary Sewer located in Easy St. Orion Rogers and I are confident that the system was abandoned appropriately and the connection to the main was inspected by GWSSA personnel.

The existing home is not required to connect to GWSSA culinary water as a condition of approval. They use a well for culinary water.

If you have any questions; please feel free to contact me at the number above.

Sincerely,

Dana Van Horn
 Agency Manager

Agenda Summary
GRAND COUNTY PLANNING COMMISSION
August 10, 2020

| | |
|-----------------------|--|
| TITLE: | Viewgate Terrace Phase II Preliminary Plat |
| FISCAL IMPACT: | N/A |
| PRESENTER(S): | Mila Dunbar-Irwin, Planning and Zoning Administrator |

Prepared By:
MILA DUNBAR-IRWIN
PLANNING & ZONING
ADMINISTRATOR

FOR OFFICE USE ONLY:
Attorney Review:

 Prior to County
 Council

STATED MOTION :

I move to approve the Viewgate Terrace Phase II Preliminary Plat for the parcel located at 1248 S Highway 191 conditioned on the following:

- Hydrological issues are reviewed by Bill Loughlin at developer's expense and adequately addressed prior to final plat
- Existing roadway improvements are addressed in the development agreement prior to final plat
- All conditions of Ordinance 599
- Add notes to the plat designating HDHO Ordinance and Deed Restricted Lots

STAFF RECOMMENDATION: APPROVE

The Preliminary Plat for Phase II of Viewgate Terrace HDHO satisfies County LUC requirements substantially and should be approved. There are a few conditions to be met prior to final plat approval, and the Development Review Team and Planning Staff feel there are none that would prevent the development from moving forward and are confident they will be addressed satisfactorily.

BACKGROUND:

Viewgate Terrace is an approved HDHO project by Ordinance 599, revised July 2020 and originally signed in 2019 applying the HDHO-35 to the portion of the lot represented in this preliminary plat as Phase II. The associated master plan for the development is contained in the packet.

ATTACHMENT(S):

- Staff Report
- Preliminary Plat
- Ordinance 599
- Master Plan
- Resolution 3232
- Final Plat Phase I
- Development Agreement
- Civil Plans Phase II
- Lighting Plan
- Geotech Report Phase II (available on request)
- Concept Drawing



STAFF REPORT

COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT
GRAND COUNTY, UTAH

DATE: Monday, August 24, 2020

TO: Grand County Planning Commission

SUBJECT: Viewgate Terrace Phase II Preliminary Plat

PROPERTY OWNER: View Gate Terrace LLC

PROP. OWNER REP: Will Hansen

ENGINEER: Click or tap here to enter text.

PROPERTY ADDRESS: 1248 S Highway 191

SIZE OF PROPERTY: 16.32 acres

EXISTING ZONE: Approved HDHO

EXISTING LAND USE: Hotel and vacant

ADJACENT ZONING AND LAND USE(S): HC and Rural Residential

APPLICATION TYPE

Preliminary Plat

STAFF RECOMMENDATION: Approve with Conditions

Comments (optional): Conditions are as stated in the motion.

APPLICATION PROCEDURE

Decision Type: Choose an item.

Public Notices: Public Meeting at:

Planning Commission

County Council

Public Hearing at:

Planning Commission

County Council

Attachments:

Approval Letters

Site Plan

Landscape Plan

Vicinity Map

Legal Notice

Legal Description

Public Comments

Agency Comments

Response to Standards

Other: Click or tap here to enter text.

SUMMARY OF REQUEST

The Viewgate Terrace HDHO Preliminary Plat Phase II contemplates a four lot subdivision according to the Master Plan approved with Ordinance 599 on October 15, 2019. This preliminary plat closely represents the master plan and conditions in the approving ordinance, and meets Grand County standards for a preliminary plat.

SITE IMPROVEMENTS / ADDITIONS / CHANGES

Applicant will construct and improve the private road serving the development, and extend all necessary utilities to new lots and buildings. The County drainage easement will be dedicated prior to final plat for access and maintenance of the existing drainage area at the back of Lots 3 and 4. Applicants have worked with the

development review team to address other site issues and they have been found satisfactory at this stage. Remaining conditions will be addressed prior to final plat.

CONSIDERATIONS FOR APPROVAL, DENIAL, AND/OR POSTPONEMENT

Sections 4.7 HDHO and 9.4 Preliminary Plats

Staff comments in red.

4.7.1 Purpose **Revised 11/19**

The High Density Housing Overlay Districts (“HDHO Districts”) are designed to provide for modification of the otherwise applicable development standards of the underlying base district as specified in Articles 2 and 5, in order to accomplish one or more of the following purposes:

- A. Facilitating the provision of new housing units used for primary residential occupancy by actively employed households;
- B. Achieving the goals of the housing element of the County’s General Plan;
- C. Implementing the policies and goals of the housing element of the County’s General Plan;
- D. Encouraging the development of new high quality housing units by assisting both the public and private sector in making the provision of these units economically viable; and
- E. Encouraging the provision of primary residential housing through the combination of multiple-family and single-family residential zoning districts within the County where the residential housing projects are determined to be feasible and are consistent with the County’s General Plan.

This project complies with the purpose of the HDHO.

4.7.5 Development Standards **Revised 11/19**

A. Eligibility. In order to reduce costs associated with the development and construction of primary residential housing, the property development standards set forth in subsection B of this section are established for and shall apply to all HDHO developments within the HDHO Districts upon approval of a site plan or preliminary plat approval.

B. Property Development Standards. The following development standards shall apply to HDHO developments within the HDHO Districts:

- 1. General Design Standards.** The development shall be designed and developed in a manner compatible with and complementary to existing and potential development in the immediate vicinity of the development site. Site planning on the perimeter shall provide for protection of the property from adverse surrounding influences and shall protect surrounding areas from potentially adverse influences from the property. To the greatest extent possible, the design of the development shall promote privacy for residents and neighbors, security, and use of passive solar heating and cooling through proper placement of walls, windows, and landscaping.

Addressed at Master Plan.

- 2. Minimum Design Standards.** Minimum design standards are included to ensure a high degree of quality in the development of HDHO lots and units. The following design standards shall apply to a development that utilizes the density increases allowed by this section:

- a. Sidewalks shall be installed along all street frontages where otherwise required by this LUC.

Sidewalks will be installed along parking areas and anywhere else necessary.

- b. **Screening Requirements.**

- (1) Outdoor Storage Screening.** All outdoor storage areas for materials, trash, mechanical equipment, vehicles, or other similar items shall follow the standards outlined in Section [6.4.3](#).

There is no outdoor storage planned.

- (2) Parking Lot Screening.** Parking lot screening must be provided between an off-street parking area containing six or more parking spaces and either 1) a different zoning district or 2) a public street, and shall:
- i. Be provided within 10 feet of the perimeter of the parking lot to be screened, except for parking lots adjacent to rain gardens/bioretention systems, other landscape features, or where screening may negatively impact the traffic sight distance (as defined by the American Association of State Highway and Transportation Officials (AASHTO) and verified by the County Engineer);
 - ii. Be not less than 80 percent opaque and be a minimum of three feet in height as measured from the highest finished adjacent grade of the parking area. When shrubs are used to provide the screen, such shrubs must be at least two feet tall at planting and anticipated to grow to at least three feet tall at maturity;
 - iii. Not interfere with driver or pedestrian visibility for vehicles entering or exiting the premises;
 - iv. Utilize plants found in Section [6.4.3F](#), where required;
 - v. Consist of at least two of the following:
 - (A) A compact hedge of evergreen or densely twigged deciduous shrubs spaced to ensure closure into a solid hedge at maturity.
 - (B) A berm with plantings as described above.
 - (C) Transit shelters, benches, bicycle racks, and similar features may be integrated as a part of the screen.
 - (D) Fencing may be integrated as part of the screen. All wood fencing shall be stained and sealed with a weatherproof product;
 - vi. Be equipped with an irrigation system adequate for establishing and maintaining the plant materials within it.

Parking lots will require screening where they face neighboring properties. There are no parking areas planned fronting public streets. This will be addressed at site plan for building permits.

- c. Parking Island Design.** Off-street parking areas with at least 25 parking stalls shall contain interior landscaped islands. Such islands shall be bounded by a raised concrete curb, pervious curbing, or an approved equivalent and shall contain mulch to retain soil moisture. This provision shall not apply to parking structures. Landscaped parking lot islands shall:
- (1) Be located at the beginning and end of each parking row and shall contain a minimum of 180 square feet and a minimum width of nine feet;
 - (2) Include at least one tree per island;
 - (3) Incorporate shrubs, perennials, and ornamental grasses, where required;
 - (4) Be prepared with topsoil to a depth of two feet and improved to ensure adequate drainage, nutrient, and moisture retention levels for the establishment of plantings; and
 - (5) Be equipped with an irrigation system adequate for establishing and maintaining the plant materials within it.

Addressed at building permit for Lot 2.

- d. Building Exterior Facade Standards.**
- (1) Exterior finishes may be of wood, masonry, stone, stucco, HDO board or other high quality material permitted by the building code, but shall not utilize vinyl siding; cedar or wood shakes; highly reflective, shiny, or mirror-like materials; or exposed plywood or particle board.
 - (2) Buildings shall utilize at least two of the following design features to provide visual relief along the front of the residence:
 - i. Projections, recessions, or reveals such as, but not limited to, columns, pilasters, cornices, and bay windows.
 - ii. Dormers.
 - iii. Gables.
 - iv. Recessed entries, a minimum of three feet deep.
 - v. Covered front porches.
 - vi. Cupolas.

- vii. Architectural pillars or posts.
- viii. Quoins.
- ix. Corbeling on wall.
- x. Decorative lintel.
- xi. Incorporation of brick or stone on at least 25 percent of front surface area.

Addressed at building permit.

e. Where HDHO units may be placed on the same lot as current or future temporary or short-term accommodations, dedicated HDHO units shall be clustered together so as to minimize the exposure of residents to temporary guests. In all other developments, where temporary or short-term accommodations units do not exist and cannot exist due to zoning restrictions, dedicated HDHO units shall be dispersed throughout the residential development.

HDHO units are clustered behind the existing hotel at the front of the parcel, now divided into Lots 1A and 1B.

f. Where there is a combination of commercial and residential uses, the commercial uses shall front along the highest road designation. Residential development shall be located behind commercial development or on upper floors above commercial development.

Commercial use on the parcel fronts the highway, and residential development is behind.

g. The County Council may waive, or modify, any, or all, of these requirements when the Council finds it is infeasible to comply due to physical or other constraints on the lot.

3. Minimum Building Site Area and Lot Width. There shall be no minimum building site area, minimum lot width, or maximum lot coverage requirements for individual lots or individual dwelling sites in a HDHO development. However, the building site area lot widths and lot coverage percentages shall be designated on a preliminary plat or site plan pursuant to Section [4.7.9](#).

Lot sizes are stated on the preliminary plat.

4. Density. Overall density of site development within an HDHO District shall not exceed the limits established in Section [4.7.4](#).

The HDHO-35 has been applied to this property and development will not exceed this limit.

5. Building Height.

a. Maximum building heights shall not exceed the limits defined in the underlying zone district except that buildings constructed in the HDHO 35b District shall not exceed four stories or 42 feet in height.

b. To the maximum extent possible, building heights and locations shall minimize shading and interruption of solar access to adjacent properties with existing residential structures or commercial agricultural operations.

c. All structures shall conform to the ridgeline standards of Section [6.9.8](#).

d. Structures built within an HDHO development must comply with the setback and buffer requirements of the underlying zone. The maximum height of the building at the exterior wall shall be the greater of:

(1) Twenty feet.

(2) The building's setback at that point.

e. From the exterior wall, the building's height may increase to its maximum height at a rate not greater than a 45 degree angle from the maximum allowable height of the exterior wall.

No buildings will be over 35' in height.

6. Setbacks. The minimum setbacks from the lot line of the development shall be determined by the buffer requirements of Section [5.4.1B](#) and the compatibility standards of Section [6.10](#).

Applicant will meet setback requirements at building permit.

7. Parking.

a. Number of Spaces Required.

(1) For every single-family or two-family dwelling, there shall be provided at least two off-street parking spaces for each unit. Parking spaces provided in a garage or carport may count towards the minimum requirement.

Addressed at building permit.

(2) For every attached multifamily dwelling, off-street parking spaces shall be provided in accordance with Section 6.1.4:

| | | |
|-----------------------|----------------------------|------------------------|
| Multifamily dwellings | Efficiency and one-bedroom | 1.5 per dwelling unit |
| | Two-bedroom | 1.75 per dwelling unit |
| | Three-bedroom and larger | 2.0 per dwelling unit |

b. Parking Design Requirements.

(1) Parking areas for single-family or two-family dwellings need not be paved.

(2) Parking areas for attached multifamily dwellings shall be subject to the off-street requirements outlined in Section 6.1.7.

(3) Uncovered surface parking may be permitted in the rear and side setbacks but is not permitted in the front or street-side setback.

(4) Garages, carports, and individual locking storage units are subject to the setback standards outlined in Section 5.4.1.

(5) Required spaces for multifamily developments equal to or greater than five units shall be covered in a carport or a garage except that for multifamily dwellings with four or fewer units, parking spaces can be uncovered.

Addressed at building permit.

8. Minimum Standards of Physical Condition. Each HDHO unit is required to have and maintain those minimum standards of physical conditions set forth in Exhibit B – Minimum Standards, attached to the ordinance codified in this section.

9. Streets. All public streets within or abutting the proposed planned development shall be dedicated and improved to County specifications for the particular classification of street.

The proposed street has been deemed acceptable by the Road Supervisor and County Engineer.

10. Signs. Signs shall be permitted only to the extent allowed under Section Signs, and must be approved by the Planning and Zoning Administrator.

No signs are planned.

11. Construction Timing. The HDHO units shall be ready for occupancy no later than the date of the initial or temporary occupancy of any unrestricted units within the development or applicable phase thereof. If the unrestricted units are developed in phases, then the HDHO units may be developed in proportion to the phasing of the unrestricted units. For example, for each unrestricted unit constructed at least four HDHO units shall be constructed.

COMPATABILITY WITH GENERAL PLAN

Insomuch as the adoption of the High Density Housing Overlay shows intent to incorporate such into the General Plan, this project is supported by the General Plan.

COMPATABILITY WITH LAND USE CODE (ZONING)

The property has an approved High Density Housing Overlay attached, and this preliminary plat conforms to the stipulations in the approving Ordinance.

LAND USE CODE REFERENCE SECTIONS

Section 4.7 – High Density Housing Overlay

Section 9.4 – Preliminary Plats

PROPERTY HISTORY

Approved HDHO development, recently constructed Wingate Hotel at the front, and a recent Phase I Final Plat dividing the front two lots from the back HDHO lots.

GRAND COUNTY, UTAH
ORDINANCE 599 (2019)

**APPROVING APPLICATION OF THE HIGH DENSITY HOUSING OVERLAY
DISTRICT 35b (HDHO-35b) TO 1248 S. HIGHWAY 191, THE VIEWGATE
TERRACE HDHO MASTER PLAN AND DEVELOPMENT AGREEMENT**

WHEREAS, the *Grand County Land Use Code* was adopted by the Grand County Council on January 4, 1999 with Ordinance No. 299, Series 1999, and codified with Resolution 468 on April 15, 2008 and as amended to date, for the purpose of regulating land use, subdivision and development in Grand County in accordance with the *General Plan*,

WHEREAS, the Grand County Council adopted Ordinance 584 - High Density Housing Overlay Districts on January 15, 2019 and amended it further on June 25, 2019;

WHEREAS, View Gate Development LLC is the owner of record (the "Owner" or "Developer") of real property located in Grand County, Utah particularly described as:

Beginning at the South Quarter corner of Section 7, Township 26 South, Range 22 East, Salt Lake Base and Meridian, and running along the South Section line South 89°58'50" West 652.86 feet to a point on the Bentley & Jelsteen tract; thence along the said tract the following three calls: thence North 00°44'00" West 644.53 feet; thence North 01°25'00" West 64.80 feet; thence North 00°14'00" East 591.37 feet to a point on the Brown tract; thence North 88°41'00" East 91.11 feet; thence North 89°45'00" East 168.05 feet to the beginning of a non-tangent curve to the right having a radius of 238.00 feet; thence 43.02 feet along the arc with the radius point being South 60°21'16" East, a delta angle of 10°21'24", and a chord bearing of North 34°49'26" East 42.96 feet to a point of reverse curvature; thence 39.16 feet along the arc having a radius of 162.00 feet, a delta angle of 13°51'05", and a chord bearing of North 33°04'36" East 39.07 feet to a point on the south right-of-way of Highway 191; thence along right-of-way South 65°39'00" East 382.67 feet to the Center of Section line; thence South 00°18'57" East 1213.46 feet to the point of beginning,

containing 852,064 square feet or 19.56 acres, also known as Parcel No. 02-0007-0090 (the "Property");

WHEREAS, the Developer has requested a rezone to apply an overlay district, HDHO-35b, to a portion of the Property particularly described as follows:

Beginning at the South Quarter corner of Section 7, Township 26 South, Range 22 East, Salt Lake Base and Meridian, and running along the South Section line South 89°58'50" West 652.86 feet to a point on the Bentley & Jelsteen tract; thence along the said tract the following three calls: thence North 00°44'00" West 644.53 feet; thence North 01°24'00" West 64.80 feet; thence North 00°14'00" East 519.36 feet; thence South 65°39'00" East 236.45 feet; thence South 45°40'12" East 129.64 feet; thence South 65°38'47" East 220.58 feet; thence North 89°41'03" East 146.25 feet; thence South 00°18'57" East 950.16 feet to the point of beginning, containing an area of 694,475 square feet, 15.94 acres (the "HDHO Lot");

WHEREAS, in a public hearing on July 9, 2019 the Grand County Planning Commission considered all evidence and testimony presented with respect to the subject application and forwarded a favorable recommendation to the Grand County Council for approval of the HDHO-35b application and associated Viewgate Terrace Master Plan with a latest revision date of June 4, 2019 with the following conditions:

- Developer shall install a privacy fence along the exterior property perimeter where a boundary is shared with residentially zoned properties;
- Developer shall be restricted to 35 feet in height (that of the underlying zone district) along the eastern half of the property; and
- Developer shall designate on the proposed master plan which lots/units will be deed restricted;

WHEREAS, due notice was given that the Grand County Council would meet to hear and consider the proposed HDHO-35b application in a public hearing on August 6, 2019;

WHEREAS, the Grand County discussed revisions the to the Viewgate Terrace Master Plans in duly noticed public meetings on September 3, September 17, and October 1, 2019;

WHEREAS, the Applicant has submitted a Development Agreement using the form prepared by the County Attorney committing the Developer to the deed restriction requirements of Section 4.7, which requires that eighty percent (80%) of all Lots and Units created by the Viewgate Terrace Subdivision shall be deed restricted to primary residents who are actively employed within Grand County, which Development Agreement shall be recorded in the real property records of Grand County;

WHEREAS, the Applicant has submitted a revised Master Plan for the Viewgate Terrace Subdivision with changes dated October 3, 2019, and designated HDHO Units that would be deed restricted according to the provisions of Section 4.7, which Master Plan is attached hereto as *Exhibit A*

WHEREAS, the County Council has heard and considered all evidence and testimony presented with respect to the subject application and has determined that the adoption of this ordinance is in the best interests of the citizens of Grand County, Utah;

NOW, THEREFORE, BE IT ORDAINED by the County Council that it does hereby approve the HDHO-35b application for that portion of 1248 S. Highway 191 described herein as the HDHO Lot, the Viewgate Terrace Development Agreement, and Viewgate Terrace HDHO Master Plan dated October 3, 2019 conditioned upon the following:

1. County approval of an Easement Deed in favor of Grand County as Grantee for stormwater drainage, including the **right** to install, construct, repair, maintain, and improve a stormwater detention facility; convey stormwater drainage through, under, and over the Easement Area to downstream detention basins; and ingress and egress to the Easement Area via a 20' wide access road, which Easement Area shall be shown on the Viewgate Terrace HDHO Master Plan and which Easement Deed shall be recorded simultaneously with the Master Plan.
2. The Viewgate **Terrace** HDHO Master Plan shall further be updated as follows:
 - a. Additional Plan Notes:
 - i. Applicant shall improve the access road to the appropriate public road standard in effect as a condition of future preliminary plat or site plan approval (currently a Type 1 Local Road), at Applicant's sole cost, which includes adequate ROW dedication and clearance of buildings or other existing infrastructure within said ROW;
 - ii. Applicant shall improve the access entrance on Highway 191 as a condition of future preliminary plat or site plan approval, at Applicant's sole cost, as required by the Utah Department of Transportation; and
 - iii. All prior recorded easements shall be referenced in the plan notes by entry number and date, including those shown on the title commitment no. 10902 dated February 15, 2018, as amended, and the site plan for the Wyndham Hotel.
 - b. Cul-de-sac radius shall be 50 feet as per County Code.

PASSED, ADOPTED, AND APPROVED by the Grand County Council in open session on October 15, 2019 by the following vote:

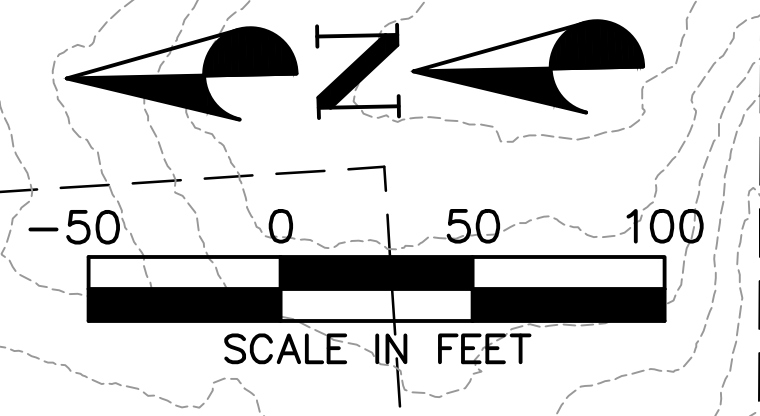
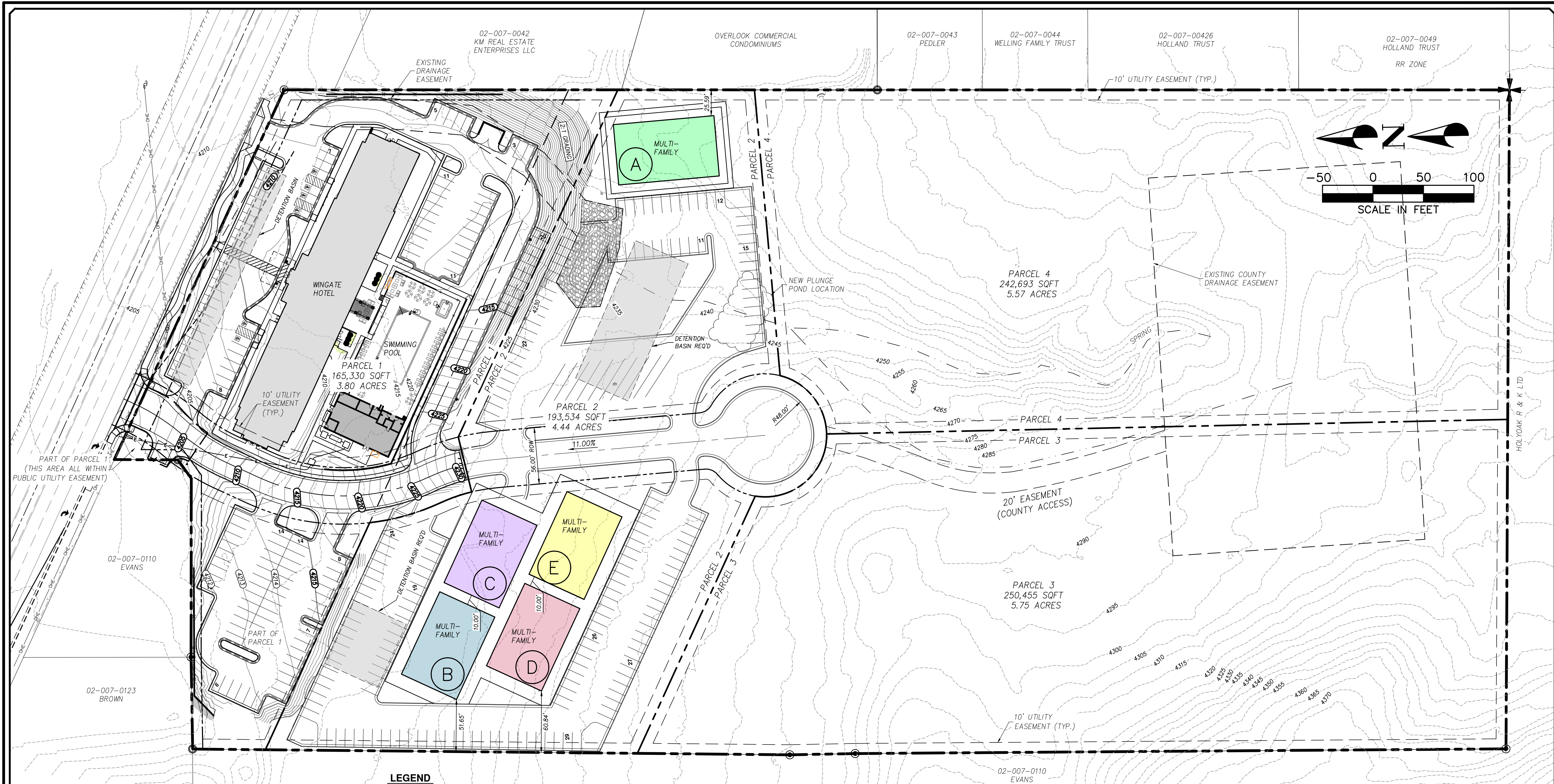
Those voting aye. Clapper, Paxman, Wells, Hawks, Halliday, Morse, McGann

GRAND COUNTY COUNCIL


Mary McGann, Chair

ATTEST:
 28 JUL 2020
Quinn Hall, Clerk/Auditor

**EXHIBIT A
MASTER PLAN**



LEGEND

| | | |
|-----|------|---------------------------------|
| --- | 5200 | EXISTING 5' CONTOUR |
| --- | | EXISTING CENTER LINE |
| --- | | EXISTING EDGE OF ASPHALT |
| --- | | EXISTING UNDERGROUND ELECTRICAL |
| --- | | EXISTING OVERHEAD ELECTRIC |
| --- | | PROPOSED P.U.E. |
| --- | 5200 | PROPOSED 5' CONTOUR |
| --- | 5201 | PROPOSED 1' CONTOUR |
| --- | | PROPOSED CURB & GUTTER |
| --- | | PROPOSED CENTER LINE |
| --- | | PROPOSED SIDEWALK |
| --- | | PROPOSED DETENTION BASIN |
| --- | | PROPOSED FENCE |
| --- | | PROPOSED EDGE OF ASPHALT |
| --- | | PROPOSED ELECTRICAL LINE |
| --- | | PROPOSED SPILL CURB & GUTTER |
| --- | | PROPOSED CONCRETE PAD |
| --- | | PROPOSED BUILDING PAD |
| --- | | PROJECT BOUNDARY |
| --- | | RIGHT OF WAY |
| --- | | PROPOSED SETBACK |
| --- | | DEED POINT OF BEGINNING LINE |
| --- | | PROPOSED LOT LINE |
| --- | | SURROUNDING PROPERTY LINE |

- GENERAL NOTES**
- SCREENING AND FENCING ON THE EAST SIDE OF THE PROPERTY TO COMPLY WITH GRAND COUNTY CODE 6.3 AND 6.4
 - BUILDING SEPARATION FROM ADJOINING LOTS TO BE IN ACCORDANCE WITH GRAND COUNTY CODE 5.4.1, SECTION B. (20 FT)
 - MASTER PLAN TO COMPLY WITH GRAND COUNTY CODE SECTION 9.17.3 A-N.
 - MASTER PLAN TO COMPLY WITH PARKING SCREENING STANDARDS IN GRAND COUNTY CODE SECTION 4.7.5.B.2.b
 - MASTER PLAN TO COMPLY WITH BUILDING HEIGHT AND SETBACK REQUIREMENTS IN GRAND COUNTY CODE 4.7.5.B.5.d
 - ALL DEED RESTRICTED UNITS IDENTIFIED IN THE FOLLOWING TABLE SHALL COMPLY WITH SECTION 4.7 OF THE GRAND COUNTY LUC.

BUILDING INFORMATION

| BUILDING | STORIES / HEIGHT | 3 BDRM UNITS | 2 BDRM UNITS | 1 BDRM STUDIO | TOTAL # UNITS | # DEED RESTRICTED | NON DEED RESTRICTED | SQ. FT. |
|---------------|------------------|--------------|--------------|---------------|---------------|-------------------|---------------------|---------|
| A | 3 / 35 | 10 | 10 | 4 | 24 | 24 | 0 | 6,000.0 |
| B | 3 / 35 | 10 | 10 | 4 | 24 | 18 | 6 | 5,400.0 |
| C | 3 / 35 | 10 | 10 | 4 | 24 | 20 | 4 | 4,405.0 |
| D | 3 / 35 | 10 | 10 | 4 | 24 | 18 | 6 | 5,400.0 |
| E | 3 / 35 | 10 | 10 | 4 | 24 | 18 | 6 | 5,400.0 |
| PARCEL 3 | | | | | 1 | 0 | 1 | |
| PARCEL 4 | | | | | 1 | 0 | 1 | |
| TOTAL | | 50 | 50 | 20 | 122 | 98 | 24 | |
| PARKING REQ'D | | 100 | 87.5 | 20 | 207.5 | | | |

| NO. | DESCRIPTION | DATE | APTD |
|-----|-------------|------|------|
| | | | |
| | | | |
| | | | |
| | | | |

ORIG. DATE : 12-01-17
 SURVEY BY : RED DESERT
 DRAWN BY : ELC
 DESIGNED BY : RLK
 CHECKED BY : RLK
 SCALE : 1"=50'

PEPG CONSULTING LLC
 9270 SOUTH 300 WEST • SANDY, UT 84070
 PHONE: (801) 562-2521 • FAX: (801) 562-2551
 CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT
 GEOTECHNICAL • MATERIALS TESTING • INSPECTIONS

VIEWGATE TERRACE MASTER PLAN
 HDHO DEVELOPMENT
 1248 SOUTH HIGHWAY 191
 OCTOBER 3, 2019
 PROJECT NUMBER: 12911710
 DWG/CONCEPT DRAWING FILE

MOAB CITY

PRELIMINARY NOT FOR CONSTRUCTION



SHEET NO. **1**

**GRAND COUNTY, UTAH
RESOLUTION NO. 3232 (2020)**

**APPROVING THE VIEWGATE TERRACE PHASE 1 FINAL PLAT
AND STORMWATER DRAINAGE AND ACCESS EASEMENT
FOR REAL PROPERTY KNOWN AS 1248 AND 1260 S. HIGHWAY 191**

WHEREAS, the County Council adopted the Grand County Land Use Code (“Land Use Code”) on January 4, 1999 with Ordinance No. 299 and amended it February 19, 2008 with Ordinance No. 468 for the purpose of regulating land use, subdivision and development in Grand County in accordance with the General Plan;

WHEREAS, the Grand County Council (“County Council”) adopted the Grand County General Plan Update (“General Plan”) on February 1, 2012 with Resolution No. 2976;

WHEREAS, the County Council adopted the High Density Housing Overlay (“HDHO”) with Ordinance 584 on January 15th, 2019, as repealed and replaced with Ordinance 591, in an effort to stimulate the construction of deed-restricted workforce housing in Grand County;

WHEREAS, View Gate Development LLC is the Developer and Owner of Record (the “Developer”) of 19.56 acres of real property located in Section 7, Township 26 South, Range 22 East, Grand County, Utah, more particularly described as follows:

Beginning at the South Quarter corner of Section 7, Township 26 South, Range 22 East, Salt Lake Base and Meridian, and running along the South Section line South 89°58'50" West 652.86 feet to a point on the Bentley & Jelsteen tract; thence along the said tract the following three calls: thence North 00°44'00" West 644.53 feet; thence North 01°25'00" West 64.80 feet; thence North 00°14'00" East 591.37 feet to a point on the Brown tract; thence North 88°41'00" East 91.11 feet; thence North 89°45'00" East 168.05 feet to the beginning of a non-tangent curve to the right having a radius of 238.00 feet; thence 43.02 feet along the arc with the radius point being South 60°21'16" East, a delta angle of 10°21'24", and a chord bearing of North 34°49'26" East 42.96 feet to a point of reverse curvature; thence 39.16 feet along the arc having a radius of 162.00 feet, a delta angle of 13°51'05", and a chord bearing of North 33°04'36" East 39.07 feet to a point on the south right-of-way of Highway 191; thence along right-of-way South 65°39'00" East 382.67 feet to the Center of Section line; thence South 00°18'57" East 1213.46 feet to the point of beginning,

containing 852,064 square feet or 19.56 acres and also known as Parcel Number 02-0007-0090 (the “Property”);

WHEREAS, the County Council applied the HDHO-35b Overlay to a portion of the Property in conjunction with the Viewgate Terrace Subdivision pursuant to Ordinance 599 on October 15, 2019, which affected portion is shown on the Viewgate Terrace Phase 1 Final Plat as Lot 2 and is particularly described as follows:

Beginning at the South Quarter corner of Section 7, Township 26 South, Range 22 East, Salt Lake Base and Meridian, and running along the South Section line South 89°58'50" West 652.86 feet to a point on the Bentley & Jelsteen tract; thence along the said tract the following three calls: thence North 00°44'00" West 644.53 feet; thence North 01°24'00" West 64.80 feet; thence North 00°14'00" East 519.36 feet; thence South 65°39'00" East 236.45 feet; thence South 45°40'12" East 129.64 feet; thence South 65°38'47" East 220.58 feet; thence North 89°41'03" East 146.25 feet; thence South 00°18'57" East 950.16 feet to the point of beginning,

having an area of 694,475 square feet, 15.94 acres ("Lot 2, Phase 1" or the "HDHO Lot")

WHEREAS, the Master Plan contemplates that Lot 2, Phase 1 will be subdivided into a three (3) lot subdivision, shown as Parcels 2, 3 and 4 on the Master Plan, which subdivision the Developer will plat at a future date;

WHEREAS, the Grand County Planning Commission approved the Viewgate Terrace Phase 1 Preliminary Plat at a public meeting on May 25, 2020 without conditions;

WHEREAS, the Viewgate Terrace Phase 1 Final Plat meets the development regulations established by the Grand County Land Use Code, Construction Standards, and other development regulations;

WHEREAS, the Developer is not required to sign a subdivision improvement agreement because no public infrastructure improvements are needed to facilitate Phase 1;

WHEREAS, the County Council considered this item in a public meeting held on July 7th, 2020; and

WHEREAS, the County Council has heard and considered all evidence and testimony presented with respect to the proposed resolution and final plat approval;

NOW, THEREFORE, BE IT RESOLVED by the Grand County Council that it does hereby approve the Viewgate Terrace Phase 1 Final Plat and Stormwater Drainage and Access Easement.

PASSED by the Grand County Council in open session on July 21, 2020 by the following vote:

Those voting aye: McGann, Wells, Halliday, Woytek, Hawks, Clapper, Paxman

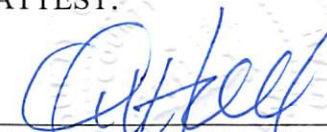
Those voting nay: _____

Those absent: _____

GRAND COUNTY COUNCIL


Mary McGann, Chair

ATTEST:


Quinn Hall, Clerk/Auditor



30 South 100 East #2
Moab, UT 84532
435.259.8171

NOT VALID WITHOUT ORIGINAL SIGNATURE

STANDARD LEGEND

- Property Corner
- Section Corner Monument
- Public drainage and utility easement (P.U.E.)

PROJECT TYPE:
FINAL PLAT

PROJECT ADDRESS:
1248 S HIGHWAY 191
MOAB, UTAH

PROJECT LOCATION:
GRAND COUNTY, UTAH

PREPARED FOR:
WILLIAM HANSEN

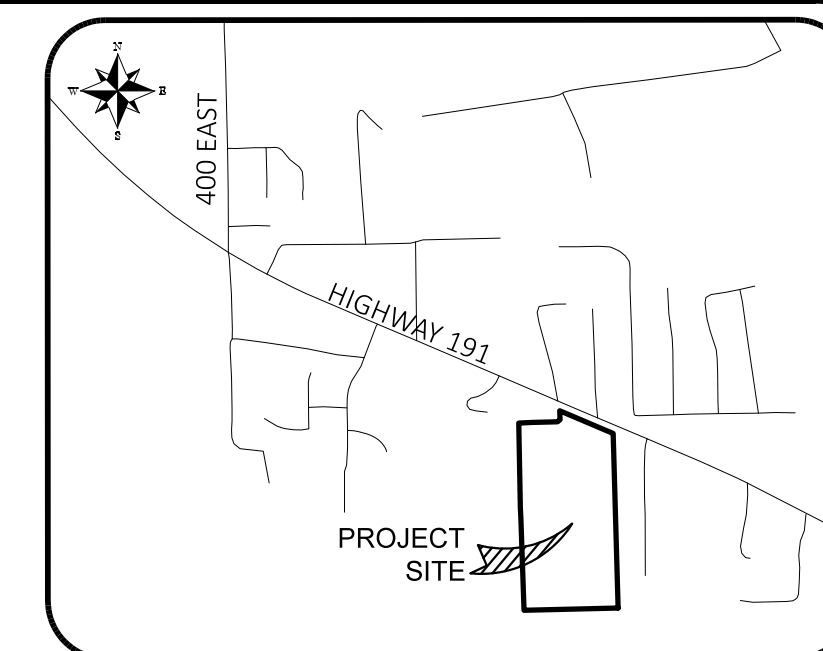
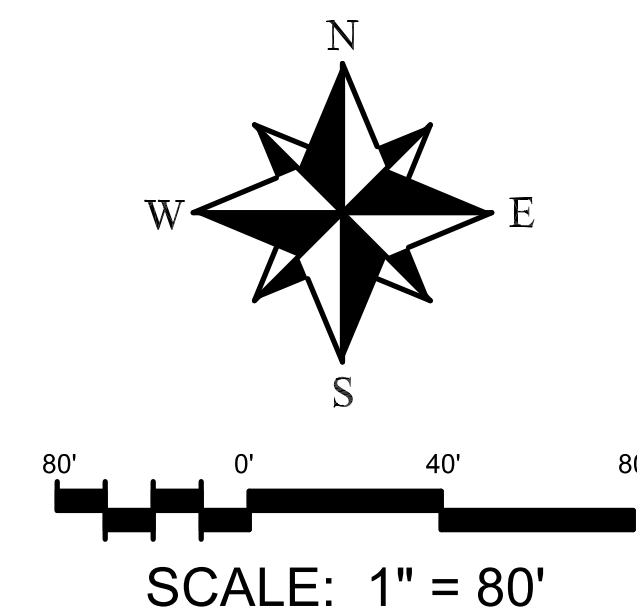
SHEET 1 OF 1

DATE:
06/24/20

JOB NUMBER:
009-20

VIEWGATE TERRACE PHASE 1

FINAL PLAT
A SUBDIVISION LOCATED WITHIN
SECTION 7, TOWNSHIP 26 SOUTH, RANGE 22 EAST
SALT LAKE BASE AND MERIDIAN



VICINITY MAP

NOT TO SCALE

SURVEYOR'S CERTIFICATE

SURVEYOR'S CERTIFICATION

I, Lucas Blake, do hereby certify that I am a Professional Land Surveyor, and that I hold License No. 7540504, as prescribed under the laws of the State of Utah. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described hereon, and have subdivided said tract of land into lots and streets, together with easements, hereafter to be known as **VIEWGATE TERRACE PHASE 1** and that the same has been correctly surveyed and monumented on the ground as shown on this plat.

Lucas Blake
License No. 7540504

LEGAL DESCRIPTION

Beginning at the South Quarter corner of Section 7, Township 26 South, Range 22 East, Salt Lake Base and Meridian, and running along the South Section line South 89°58'50" West 652.86 feet to a point on the Bentley & Jelseen tract; thence along the said tract the following three calls: thence North 00°44'00" West 644.53 feet; thence North 01°25'00" West 64.80 feet; thence North 00°14'00" East 591.37 feet to a point on the Brown tract; thence North 88°41'00" East 91.11 feet; thence North 89°45'00" East 168.05 feet to the beginning of a non-tangent curve to the right having a radius of 238.00 feet; thence 43.02 feet along the arc with the radius point being South 60°21'16" East, a delta angle of 10°21'24", and a chord bearing of North 34°49'26" East 42.96 feet to a point of reverse curvature; thence 39.16 feet along the arc having a radius of 162.00 feet, a delta angle of 13°51'05", and a chord bearing of North 33°04'36" East 39.07 feet to a point on the south right-of-way of Highway 191; thence along right-of-way South 65°39'00" East 382.67 feet to the Center of Section line; thence South 00°18'57" East 1213.46 feet to the point of beginning.

Contains 852,064 square feet, 19.56 acres.

OWNER'S DEDICATION

Know all men by these presents that the undersigned are the owners of the above described tract of land, and hereby cause the same to be divided into lots, parcels and streets, together with easements as set forth to be hereafter known as

VIEWGATE TERRACE PHASE 1

and do hereby dedicate for the perpetual use of the public all roads and other areas shown on this plat as intended for public use. The undersigned owners also hereby convey to any and all public utility companies a perpetual, non-exclusive easement over the public utility easements shown on this plat, the same to be used for the installation, maintenance and operation of utility lines and facilities. The undersigned owners also hereby convey any other easements as shown on this plat to the parties indicated and for the purposes shown hereon.

ACKNOWLEDGMENT

STATE OF _____ } S.S.
COUNTY OF _____ }
ON THE ____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME,

WHOM DID I KNOW AND WHOSE IDENTIFICATION I ACCEPTED, AND WHOSE SIGNATURE I ACCEPTED AS VALID AND VOLUNTARILY AND FOR THE USES AND PURPOSES STATED THEREIN.

NOTARY PUBLIC: _____
NOTARY PUBLIC FULL NAME: _____
COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____

| CURVE | RADIUS | ARC LENGTH | CHORD LENGTH | CHORD BEARING |
|-------|---------|------------|--------------|---------------|
| C1 | 238.00' | 41.34' | 41.29' | N 35°01'34" E |
| C2 | 162.00' | 39.16' | 39.07' | N 33°04'36" E |
| C3 | 218.00' | 54.46' | 54.32' | S 32°50'43" W |
| C4 | 182.00' | 49.71' | 49.55' | S 32°10'41" W |
| C5 | 181.00' | 182.58' | 174.94' | S 04°32'40" E |
| C6 | 100.00' | 16.68' | 16.66' | S 28°39'47" E |
| C7 | 237.00' | 124.54' | 123.11' | N 09°17'57" E |
| C8 | 238.00' | 21.98' | 21.97' | N 26°59'59" E |
| C9 | 199.00' | 49.27' | 49.15' | S 32°54'33" W |
| C10 | 201.00' | 54.90' | 54.73' | S 32°10'41" W |
| C11 | 200.00' | 158.39' | 154.29' | S 01°39'55" W |
| C12 | 200.00' | 15.09' | 15.09' | S 23°11'03" E |
| C13 | 200.00' | 69.48' | 69.13' | S 15°23'35" E |
| C14 | 25.00' | 35.30' | 32.44' | S 07°58'34" W |
| C15 | 169.62' | 51.33' | 51.14' | S 17°07'56" W |
| C16 | 185.97' | 46.76' | 46.64' | S 00°34'45" W |
| C17 | 776.08' | 106.23' | 106.15' | S 13°43'20" E |

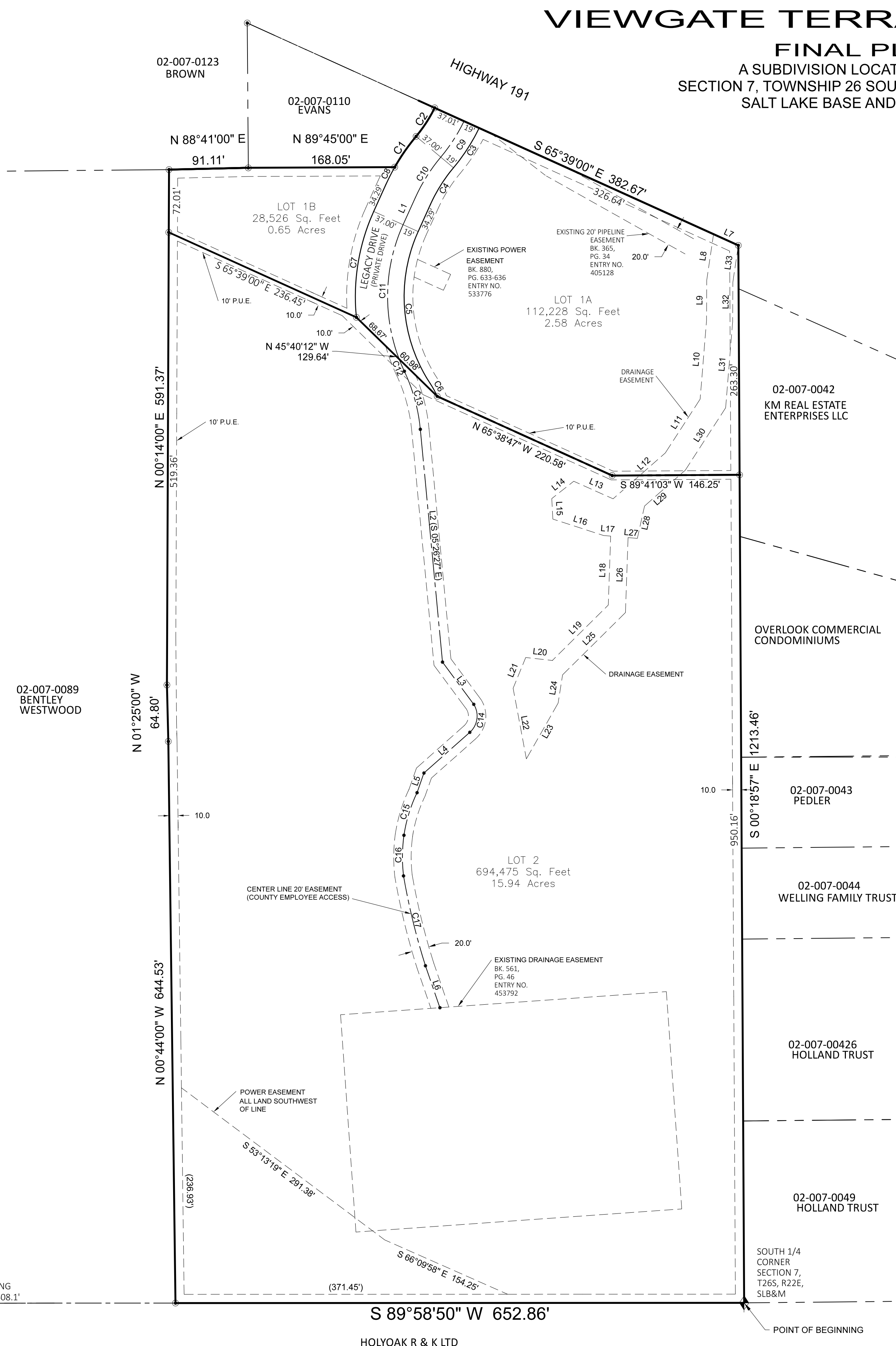
| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | S 24°21'13" W | 34.29' |
| L2 | S 05°26'27" E | 268.34' |
| L3 | S 36°30'56" E | 60.29' |
| L4 | S 48°25'25" W | 70.40' |
| L5 | S 19°19'57" W | 23.87' |
| L6 | S 18°59'54" E | 50.88' |
| L7 | N 65°39'00" W | 31.19' |
| L8 | S 09°27'04" W | 53.31' |
| L9 | S 00°18'59" W | 46.57' |
| L10 | S 04°38'52" W | 90.26' |
| L11 | S 32°55'31" W | 73.63' |
| L12 | S 48°43'04" W | 79.73' |
| L13 | N 65°58'22" W | 49.46' |
| L14 | S 51°48'36" W | 32.06' |
| L15 | S 02°54'51" E | 23.59' |
| L16 | S 72°04'46" E | 61.26' |
| L17 | S 85°07'55" E | 8.14' |
| L18 | S 01°59'24" W | 78.16' |
| L19 | S 45°17'15" W | 90.36' |
| L20 | N 83°39'16" W | 31.11' |
| L21 | S 22°19'10" W | 38.15' |
| L22 | S 10°39'05" E | 82.40' |
| L23 | N 29°40'23" E | 73.54' |
| L24 | N 09°03'25" E | 32.88' |
| L25 | N 45°17'15" E | 101.56' |
| L26 | N 01°59'24" E | 86.10' |
| L27 | S 85°07'55" E | 10.69' |
| L28 | N 12°32'20" E | 38.07' |
| L29 | N 48°43'04" E | 82.19' |
| L30 | N 32°55'31" E | 85.35' |
| L31 | N 04°38'52" E | 98.95' |
| L32 | N 00°18'59" E | 45.57' |
| L33 | N 08°27'24" E | 42.64' |

PLAT NOTE:

- Lot 2 is subject to the requirements of the High Density Housing overlay as applied in Ordinance 599 and associated master plan and development agreement.
- Prior to further subdivision or development of Lot 2 pursuant to the Master Plan recorded in the real property records of Grand County at Entry No. _____, Owner/Developer shall:
 - Construct Legacy Drive pursuant to construction standards in effect at the time of said further subdivision or development.
 - Dedicate Legacy Drive to the County or create an owners' association to own and manage the roadway.
 - Provide 56' of ROW width for Legacy Drive, which requirement necessitates additional easement width on the northern end of Legacy Drive.
 - Remove the existing home and garage that is located in the Legacy Drive ROW.
 - Submit a plat or drainage plan that shows the location or relocation of the drainage easements throughout the property.
- This final plat is approved for financing purposes only. Nothing contained herein shall be deemed to approve any construction or development on Lot 2 which shall be governed by the Master Plan as well as the Grand County Land Use Code and Construction Standards in effect at the time of future construction or development.



02-007-0089
BENTLEY
WESTWOOD



EASEMENTS:

10' UTILITY EASEMENT ALONG RIGHTS-OF-WAY AND LOT LINES
PRIVATE DRIVE ALSO INCLUDES UTILITY EASEMENT

NOTES:

LOT 1B IS LIMITED TO PARKING FOR LOT 1A

COUNTY ENGINEERS APPROVAL

APPROVED BY THE GRAND COUNTY ENGINEER THIS _____ DAY OF _____, 20____.

COUNTY ENGINEER

COUNTY COUNCIL APPROVAL

PRESENTED TO THE GRAND COUNTY COUNCIL THIS _____ DAY OF _____, 20____. SUBDIVISION APPROVED.

COUNTY CLERK _____
CHAIRMAN, GRAND COUNTY COUNCIL

COUNTY RECORDER NO. _____

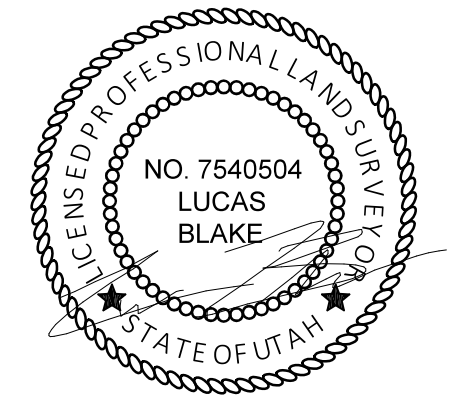
STATE OF UTAH, GRAND COUNTY, RECORDED AT THE REQUEST OF _____
DATE _____ BOOK _____ PAGE _____ FEE _____

COUNTY RECORDER

A SUBDIVISION LOCATED IN
SECTION 7, T26S, R22E, SLB&M



30 South 100 East #2
Moab, UT 84532
435.259.8171



NOT VALID WITHOUT ORIGINAL SIGNATURE

STANDARD LEGEND

- Property Corner
- Section Corner Monument
- 10' Public drainage and utility easement
- 4505' = CONTOURS
- MAG. NAIL SET
- BLOCK CORNER
- SECTION MONUMENT
- HYDRAUT. SEWER MANHOLE

PROJECT TYPE:
PRELIMINARY PLAT

PROJECT ADDRESS:
1248 S HIGHWAY 191
MOAB, UTAH

PROJECT LOCATION:
GRAND COUNTY, UTAH

PREPARED FOR:
WILLIAM HANSEN

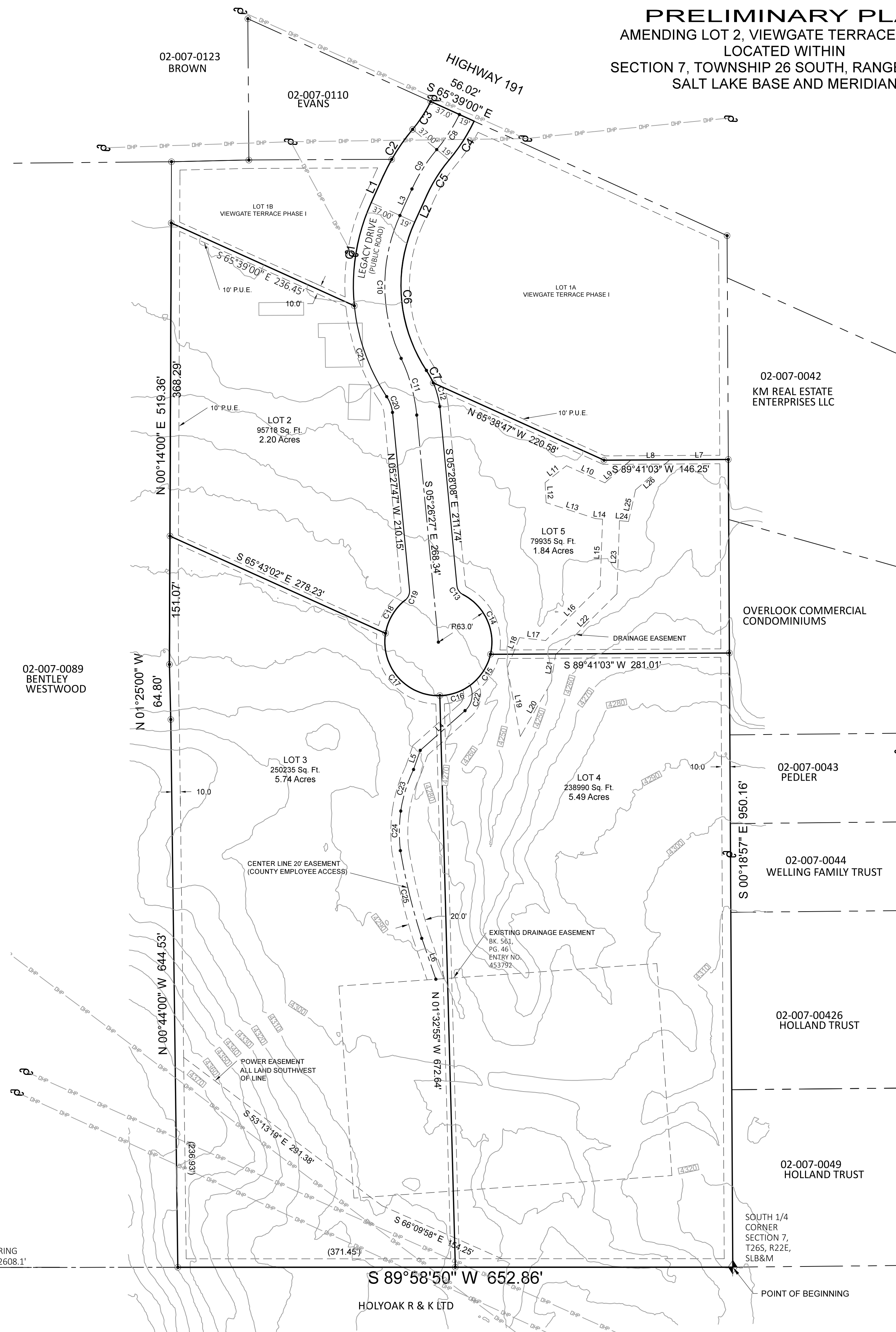
SHEET 1 OF 1

DATE:
7/8/20

JOB NUMBER:
009-20

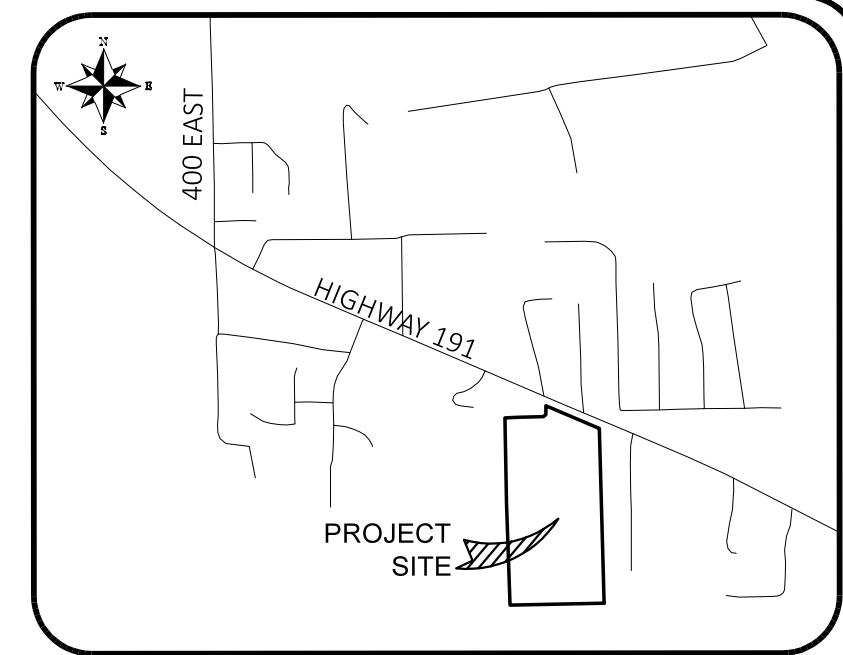
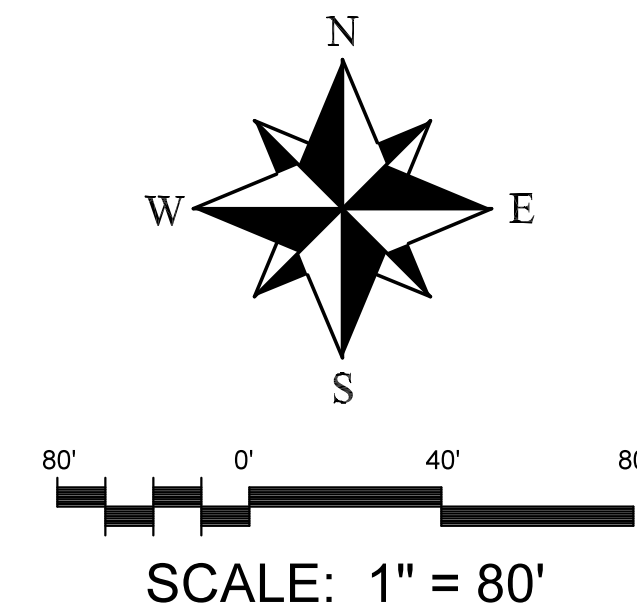
VIEWGATE TERRACE PHASE II

PRELIMINARY PLAT
AMENDING LOT 2, VIEWGATE TERRACE, PHAS I
LOCATED WITHIN
SECTION 7, TOWNSHIP 26 SOUTH, RANGE 22 EAST
SALT LAKE BASE AND MERIDIAN



| CURVE | RADIUS | ARC LENGTH | CHORD LENGTH | CHORD BEARING |
|-------|---------|------------|--------------|---------------|
| C1 | 237.00' | 124.54' | 123.11' | N 09°17'57" E |
| C2 | 238.00' | 65.00' | 64.80' | N 32°10'41" E |
| C3 | 162.00' | 39.16' | 39.07' | N 33°04'36" E |
| C4 | 218.00' | 54.46' | 54.32' | S 32°50'43" W |
| C5 | 182.00' | 49.71' | 49.55' | S 32°10'41" W |
| C6 | 181.00' | 182.58' | 174.94' | S 04°32'40" E |
| C7 | 100.00' | 16.68' | 16.66' | S 28°39'47" E |
| C8 | 199.00' | 49.27' | 49.15' | S 32°54'33" W |
| C9 | 201.00' | 54.90' | 54.73' | S 32°10'41" W |
| C10 | 200.00' | 113.48' | 116.09' | S 00°29'48" E |
| C11 | 200.00' | 69.48' | 69.13' | S 15°23'35" E |
| C12 | 101.07' | 29.04' | 28.94' | S 15°26'57" E |
| C13 | 13.00' | 13.01' | 12.48' | S 34°07'01" E |
| C14 | 63.00' | 83.53' | 77.54' | S 24°48'34" E |
| C15 | 63.00' | 44.66' | 43.73' | S 33°29'02" W |
| C16 | 63.00' | 38.11' | 37.53' | S 71°06'25" W |
| C17 | 63.00' | 111.04' | 97.22' | N 41°04'11" W |
| C18 | 63.00' | 46.72' | 45.65' | N 30°40'05" E |
| C19 | 13.00' | 13.01' | 12.48' | N 23°14'07" E |
| C20 | 43.27' | 19.94' | 19.76' | N 20°18'46" W |
| C21 | 237.00' | 114.54' | 113.43' | N 19°36'02" W |
| C22 | 25.00' | 32.57' | 30.31' | S 11°06'06" W |
| C23 | 169.62' | 51.33' | 51.14' | S 17°07'56" W |
| C24 | 185.97' | 46.76' | 46.64' | S 00°34'45" W |
| C25 | 776.08' | 106.23' | 106.15' | S 13°43'20" E |

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 24°21'13" E | 34.29' |
| L2 | S 24°21'13" W | 34.29' |
| L3 | S 24°21'13" W | 34.29' |
| L4 | S 48°25'25" W | 70.40' |
| L5 | S 19°19'57" W | 23.87' |
| L6 | S 18°59'54" E | 50.88' |
| L7 | S 89°41'03" W | 68.83' |
| L8 | S 89°41'03" W | 45.76' |
| L9 | S 48°43'04" W | 40.78' |
| L10 | N 65°58'22" W | 49.46' |
| L11 | S 51°48'36" W | 32.06' |
| L12 | S 02°54'51" E | 23.59' |
| L13 | S 72°04'46" E | 61.26' |
| L14 | S 85°07'55" E | 8.14' |
| L15 | S 01°59'24" W | 79.16' |
| L16 | S 45°17'15" W | 90.36' |
| L17 | N 83°39'16" W | 31.11' |
| L18 | S 22°19'10" W | 38.15' |
| L19 | S 10°39'05" E | 82.40' |
| L20 | N 29°40'23" E | 73.54' |
| L21 | N 09°03'25" E | 32.88' |
| L22 | N 45°17'15" E | 101.56' |
| L23 | N 01°59'24" E | 86.10' |
| L24 | S 85°07'55" E | 10.69' |
| L25 | N 12°32'20" E | 38.07' |
| L26 | N 48°43'04" E | 53.61' |



PRELIMINARY PLAT
SURVEYOR'S CERTIFICATION
I, Lucas Blake, certify that I am a Professional Land Surveyor as prescribed under the laws of the State of Utah and that I hold license no. 7540504. I further certify that an land survey was made of the property described below, and the findings of that survey are as shown hereon.
Lucas Blake
License No. 7540504

LEGAL DESCRIPTION
Beginning at the South Quarter corner of Section 7, Township 26 South, Range 22 East, Salt Lake Base and Meridian, and running along the South Section line South 89°58'50" West 652.86 feet to a point on the Bentley & Jolstean tract; thence along the said tract thence North 00°44'00" West 644.53 feet; thence North 01°25'00" West 64.80 feet; thence North 00°14'00" East 519.36 feet; thence South 65°39'00" East 236.45 feet; thence with a curve having a radius of 237.00 feet, to the right with an arc length of 124.54 feet, (a chord bearing of North 09°17'57" East 123.11 feet); thence North 24°21'13" East 34.29 feet; thence with a curve having a radius of 238.00 feet, to the right with an arc length of 65.00 feet, (a chord bearing of North 32°10'41" East 64.80 feet); thence with a reverse curve having a radius of 162.00 feet, to the left with an arc length of 39.16 feet, (a chord bearing of North 33°04'36" East 39.07 feet) to a point on the south right-of-way of Highway 191; thence with said right-of-way South 65°39'00" East 56.02 feet; thence with a curve having a radius of 218.00 feet, to the right with an arc length of 54.46 feet, (a chord bearing of South 32°50'43" West 54.32 feet); thence with a reverse curve having a radius of 182.00 feet, to the left with an arc length of 49.71 feet, (a chord bearing of South 32°10'41" West 49.55 feet); thence South 24°21'13" West 34.29 feet; thence with a curve having a radius of 181.00 feet, to the left with an arc length of 182.58 feet, (a chord bearing of South 04°32'40" East 174.94 feet); thence with a reverse curve having a radius of 100.00 feet, to the right with an arc length of 16.68 feet, (a chord bearing of South 28°39'47" East 16.66 feet); thence South 65°38'47" East 16.66 feet; thence North 89°41'03" East 146.25 feet to a point on the center section line; thence with said line South 00°18'47" East 950.16 feet to the point of beginning, having an area of 710,771 square feet, 16.32 acres.

SURVEYOR NOTES
THE BASIS OF BEARING IS SOUTH 89°58'50" WEST BETWEEN THE SOUTH 1/4 CORNER AND THE SOUTHWEST CORNER OF SECTION 7, TOWNSHIP 26 SOUTH, RANGE 22 EAST, SALT LAKE BASE AND MERIDIAN.
5/8" X 24" REBAR WITH SURVEY CAP TO BE PLACED AT ALL LOT CORNERS OR RIGHTS OF WAY. OFF-SET PINS TO BE PLACED IN THE BACK OF THE CURB WHERE APPLICABLE, IN LIEU OF REBAR AND CAP AT FRONT CORNERS.
COORDINATE SYSTEM: UTAH STATE PLANE CENTRAL (NAD83, US SURVEY FEET)

| AREA (AC) | LAND USE | UNITS |
|--------------|------------------------|----------|
| 1.05 ACRES | ROADWAY (LEGACY DRIVE) | |
| 15.27 ACRES | LOTS | 4 |
| TOTAL | | 4 |

EASEMENTS:
10' UTILITY EASEMENT ALONG RIGHTS-OF-WAY AND LOT LINES

NOTICE TO TITLE COMPANY: SECTION 4 HEREIN REQUIRES EACH DEED OF CONVEYANCE TO INCLUDE THE DEED RESTRICTION SET FORTH IN SECTION 4.2

DEVELOPMENT AGREEMENT AND DEED RESTRICTION HIGH DENSITY HOUSING OVERLAY DISTRICT

Pursuant to Grand County Code Section 4.7

This DEVELOPMENT AGREEMENT AND DEED RESTRICTION (this "Agreement") is made and entered into as of this 12th day of September, 2019 (the "Effective Date") by and between View Gate Development, a Utah limited liability company with its principal place of business located at 1248 S Hwy 191, Moab Utah ("Owner/Developer"), and Grand County, a political subdivision of the State of Utah ("County").

Recitals

A. WHEREAS, Owner/Developer owns that certain property situated in Grand County, Utah, as more particularly described in Exhibit A (the "Property"), which is attached hereto and incorporated herein by this reference.

B. WHEREAS, Owner/Developer has requested Grand County to apply the High Density Housing Overlay District (the "HDHO District Application") to the Property to take advantage of the Development Standards and other Development Incentives set forth in Section 4.7 of the Grand County Land Use Code ("Section 4.7").

C. WHEREAS, the Grand County Council has, in the exercise of its legislative discretion and following all required public hearings, approved the application of the HDHO District to the Property pursuant to the terms and conditions herein and provided that no fewer than eighty percent (80%) of the units developed on the Property are deed restricted for Primary Residential Housing for Actively Employed Households, as defined in Section 4.7.3 of the Grand County Code (the "Code").

D. WHEREAS, pursuant to the authority of Utah Code §17-27A-102(1)(b) and Section 4.7, as amended, the Parties desire to enter into this Agreement for the purpose of formalizing certain obligations of Owner/Developer with respect to the Property, and such other matters as the County and the Owner/Developer have agreed as particularly set forth below.

AGREEMENT

NOW, THEREFORE, in consideration of the mutual promises and covenants contained herein, including approval of the application of the HDHO District to the Property, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Parties agree as follows:

1. DEFINITIONS. All terms herein shall have those meanings assigned in Section 4.7 of the Grand County Code ("Section 4.7").

2. COVENANT TO COMPLY WITH SECTION 4.7. In consideration of the application of the HDHO District to the Property, and specifically the Development Standards set forth in Code Section 4.7.5, Owner/Developer hereby covenants and agrees to strictly comply with the provisions, duties, and obligations of Section 4.7, which provisions, duties, and obligations are integrated herein by this reference.

3. ADDITIONAL TERMS AND CONDITIONS.

3.1. View Gate Development sets forth that the density of units intended to be completed on the available acreage, and according to Grand County building and land use codes, will not exceed 122 units.

3.2 View Gate Development shall survey and record an Easement Deed for the 20' access easement simultaneously with recordation of the Master Plan or Development Agreement, which shall specify the County's right of ingress and egress to its storm water detention basin, which includes the right to construct, repair, improve, and maintain said access roadway.

3.3 View Gate Development will execute previous verbal agreements with adjoining landowner pursuant to the County requirements for a 54' right of way easement on the main access to the HDHO properties prior to preliminary plat submittal.

3.4 Upon County approval, View Gate Development Applicant shall submit development plans to UDOT immediately for review and determination of required access improvements; View Gate Development shall be responsible for any Utah Department of Transportation required improvements for the HDHO development parcels at its sole cost.

3.5 In consideration of the increased density approved by the Grand County Council on October 15, 2019, future subdivision of Parcels 3 and 4 is prohibited without council approval.

3.6 View Gate Development agrees to drill groundwater test holes in ANY area disturbed by proposed grading, excavation, or other construction activities prior to receiving a development permit. The County Engineer shall review and consider the test results in advance of reviewing or approving any development applications.

3.7 View Gate Development agrees to pay for a full geotechnical study by a licensed Utah geotechnical engineer and hydrologic study by a licensed Utah hydrological engineer to examine the impacts of site disturbance from proposed construction on groundwater resources in the vicinity of proposed development.

4. DEED RESTRICTION.

4.1. Eighty percent (80%) of all Lots or Units developed on the Property shall be deed restricted for Primary Residential Occupancy of Actively Employed Households, as designated on the Final Plat or Site Plan.

4.2. Each deed of conveyance for an HDHO Lot or Unit shall include the following Deed Restriction:

The Property shall be used for Primary Residential Housing for Actively Employed Households as required by Grand County Land Use Code, Section 4.7, High Density

Overlay Districts Overlay, in perpetuity. The Property is further subject to this Development Agreement and to this Master Plan recorded in the real property records of Grand County, Utah on _____ (Date) at Entry No. _____.

Grand County reserves the right to revoke, deny or suspend any permit, including a land development permit, conditional use permit, building permit, certificate of occupancy, or discretionary approval upon a violation or breach of this Deed Restriction by a record owner of any HDHO Lot or Unit.

4.3. Each HDHO Unit is required to have and maintain those minimum standards of physical condition set forth in Exhibit B, Minimum Standards, to Section 4.7, which Minimum Standards are integrated herein by this reference.

Grand County reserves the right to revoke, deny or suspend any permit, including a land development permit, conditional use permit, building permit, certificate of occupancy, or discretionary approval upon a violation or breach of this Section 4.3 by a record owner of any HDHO Unit in Grand County.

4.4. Owner/Developer shall include the deed restriction contained in Section 4.2 and 4.3 above in each and every deed of original conveyance of an HDHO Lot, and each deed of conveyance thereafter shall include the same.

5. DEFAULT.

5.1. Violation or breach of any provision hereunder, or Section 4.7, shall constitute an Event of Default. Upon the occurrence of any Event of Default, the County shall provide written notice by certified mail, postage prepaid, to the defaulting owner at the address on file with the Grand County Assessor's office, which notice shall be effective as of the date of deposit in the United States Mail. The defaulting owner shall have thirty (30) days to remedy the Event of Default, after which time the County may enforce all remedies available to it under this Agreement, Section 4.7, or Utah law including specific performance and monetary fines pursuant to Section 5.2 herein.

5.2. In the event an Event of Default is not cured under Section 5.1 above, fines in the amount of \$50 per day shall accrue until the Event of Default is cured. The County reserves the right to seek judicial enforcement of these fines, including a judgment lien and foreclosure.

6. MISCELLANEOUS.

6.1. Owner/Developer hereby waives any defenses, rights or remedies that it might otherwise assert against the County in connection with: (i) the application of the rule against perpetuities to this Agreement; or (ii) any claim that the covenants in this Agreement recorded against the HDHO Lots and Units are not covenants running with the land upon the Property. This waiver shall be binding upon and inure to the benefit of the successor and assigns of the Owner/Developer and the County.

6.2. Whenever possible, each provision of this Agreement shall be interpreted in such a manner as to be valid under applicable law. If any provision of any of the foregoing Agreement shall be invalid or

prohibited under applicable law, such provisions shall be ineffective to the extent of such invalidity or prohibition without invalidating the remaining provisions in this Agreement.

6.3. If any party shall take or defend against any action for any relief against another party arising out of this Agreement, the prevailing party in such action or defense shall be entitled to reimbursement by the other party for all costs including, but not limited to, reasonable attorneys' fees and court costs incurred by the prevailing party in such action or defense and/or enforcing any judgment granted therein, all of which costs shall be deemed to have accrued upon the commencement of such action and/or defense and shall be paid whether or not such action or defense is prosecuted to judgment. Any judgment or order entered in such action or defense shall contain a specific provision providing for the recovery of attorneys' fees and costs incurred in enforcing such judgment.

6.4. This Agreement shall be governed by and construed under Utah law.

6.5. Except as otherwise provided herein, the provisions and covenants contained herein shall inure to and be binding upon the heirs, successors, and assigns of the parties.

6.6. Paragraph or section headings within this Agreement are inserted solely for convenience of reference and are not intended to, and shall not, govern, limit or aid in the construction of any terms or provisions contained herein. Further, whenever the context so requires herein, the neuter and gender shall include any or all genders and vice versa and the use of the singular shall include the plural and vice versa.

6.7. This Agreement may be amended only upon written amendment executed by both Parties, recorded in the real property records of Grand County, Utah; provided, however, that all material terms and provisions, including the percentage of HDHO Lots or Units, may not be amended or modified without reapplication to the County.

6.8. This Agreement shall be recorded by Owner/Developer prior to recordation of a final plat or issuance of a building permit for any unit within a site plan approved hereunder, as required by Section 4.7.

IN WITNESS WHEREOF, this Agreement is effective as of the date first written above.

COUNTY: Grand County A political subdivision of the State of Utah

By: _____

Name: _____

Chair, Grand County Council

ATTEST:

_____ County Clerk

Owner/Developer:

By: _____

Name: _____

Title: _____

STATE OF UTAH)

) ss

COUNTY OF GRAND)

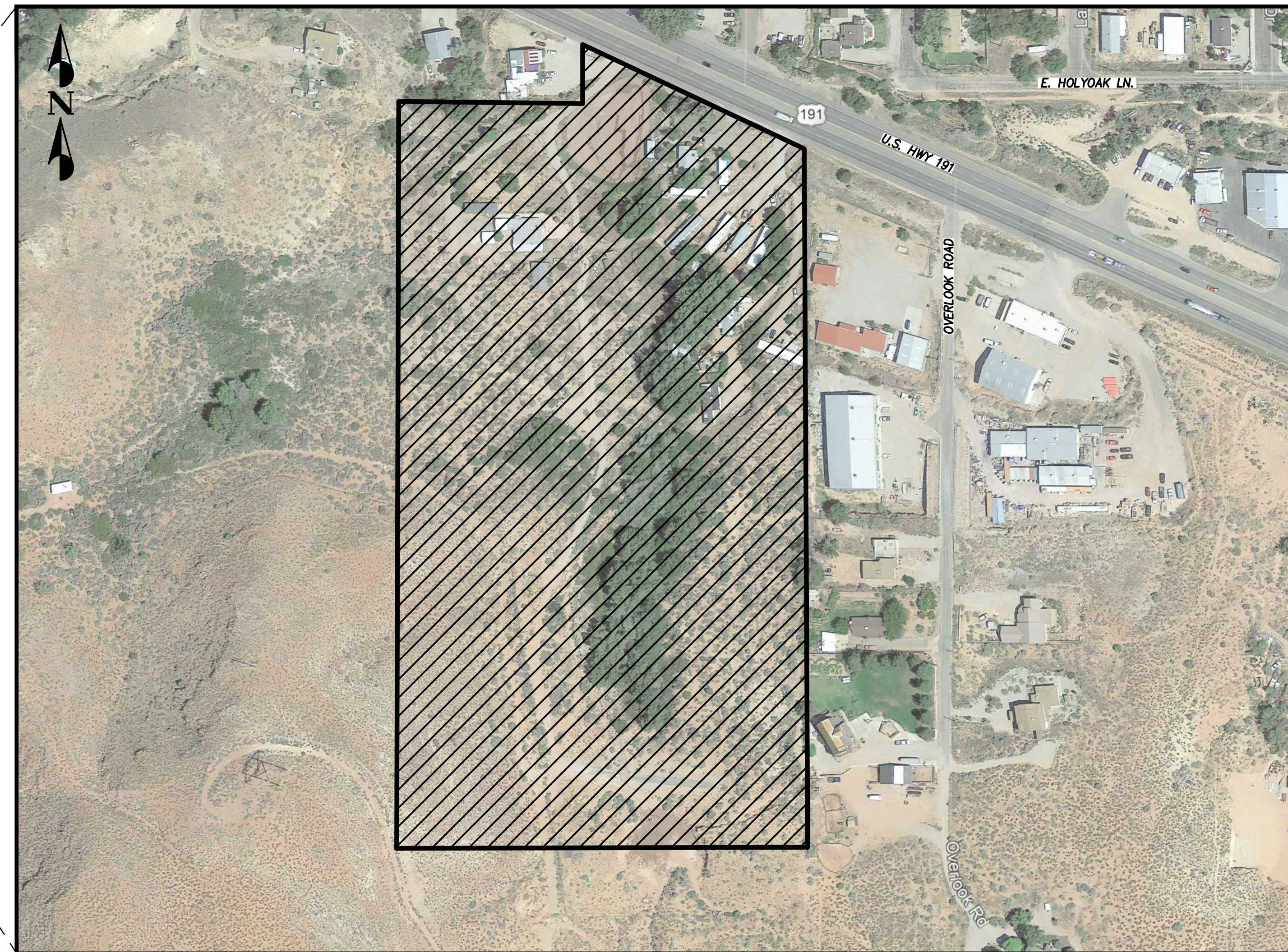
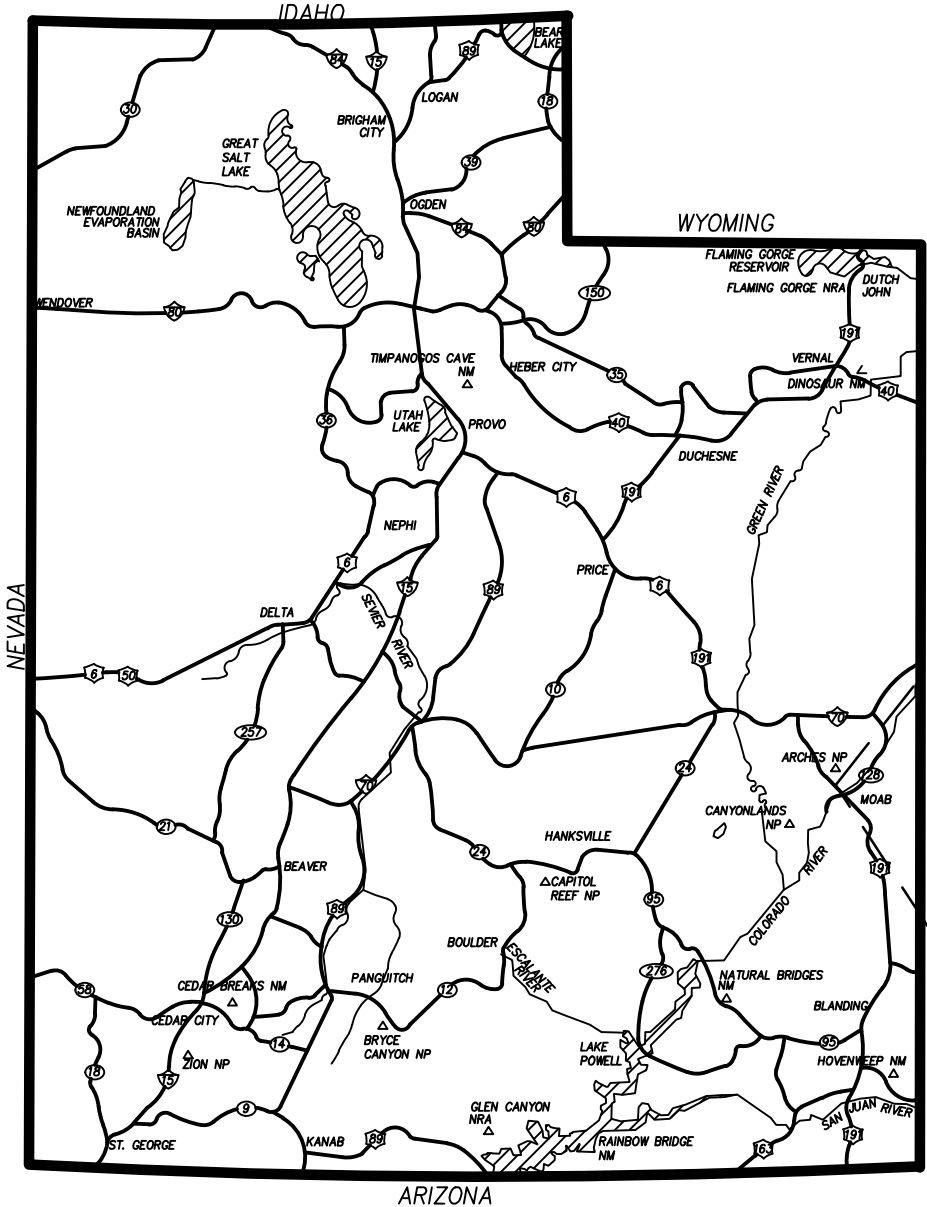
On _____, 2019, _____ (name), as _____ (title) of _____ (entity name), a Utah _____ (entity type), appeared before me and acknowledged and swore to me that the foregoing Agreement was signed on behalf of _____ (entity name) by authority of its Articles of Organization [OR Incorporation] and Operating Agreement [OR Bylaws].

_____ NOTARY PUBLIC

| REVISIONS | | |
|-------------|------|-----------------|
| DESCRIPTION | DATE | SHEETS AFFECTED |
| | | |
| | | |
| | | |

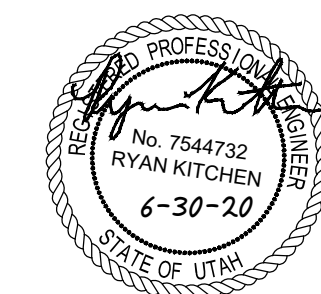
VIEWGATE TERRACE APPX. 1250 S HIGHWAY 191 MOAB, UT

| INDEX OF SHEETS | |
|-----------------|--------------------------------|
| C0.0 | TITLE SHEET |
| C1.0 | EXISTING CONDITIONS MAP |
| C2.0 | DEMOLITION PLAN |
| C3.0 | SITE PLAN |
| C4.0 | UTILITY PLAN |
| C5.0 | DRAINAGE PLAN |
| C6.0~C6.1 | GRADING PLAN |
| C7.0 | PLAN & PROFILE |
| C8.0 | EROSION CONTROL PLAN & DETAILS |
| C9.0~C9.1 | TYPICAL SECTIONS & DETAILS |
| | |
| | |



VICINITY MAP
NOT TO SCALE

LOCATION
LOCATED IN THE SOUTHWEST
QUARTER OF SECTION 26,
TOWNSHIP 25 SOUTH, RANGE 21 EAST,
SALT LAKE BASE AND MERIDIAN
MOAB CITY, UTAH



PEPG CONSULTING L.L.C.

9270 SOUTH 300 WEST • SANDY, UT 84070
PHONE: (801) 562-2521 • FAX: (801) 562-2551

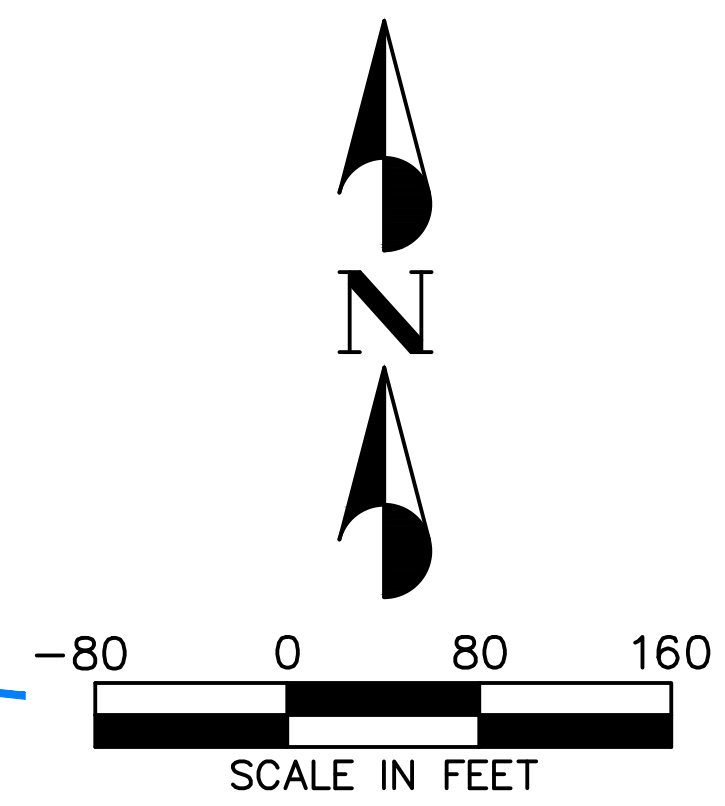
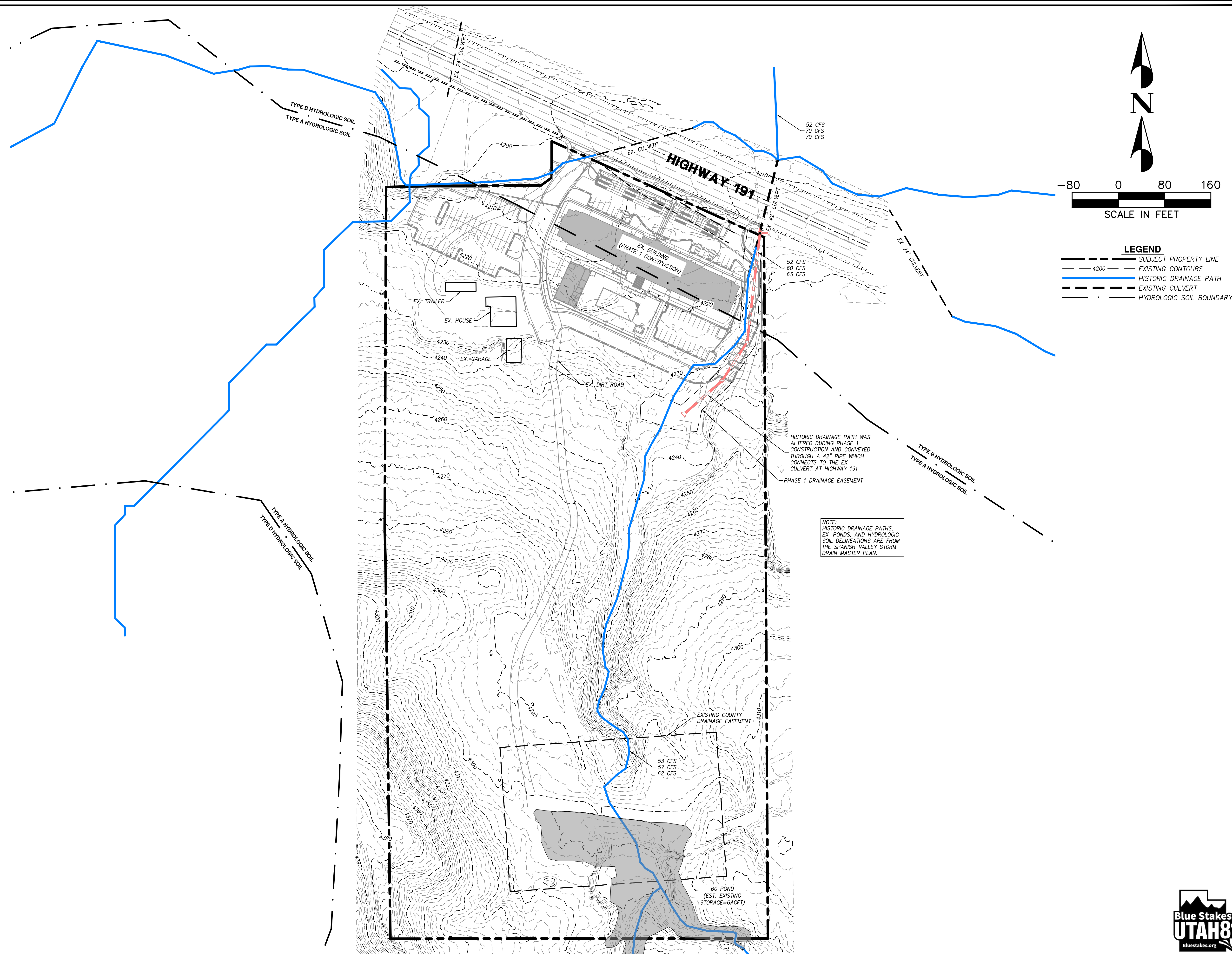
CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT
GEOTECHNICAL • MATERIALS TESTING • INSPECTIONS

JUNE 30, 2020 DATE: 1291.1710.DWG PROJECT: DWG\PH2\TITLE-01 FILE:

SHEET NO. **C0.0**

CIVIL ENGINEER
PEPG CONSULTING, L.L.C.
9270 SOUTH 300 WEST
SANDY, UTAH 84070
CONTACT: RYAN KITCHEN
AT (801) 562-2521

CLIENT/OWNER
ALAN O. MELCHIOR
5442 SOUTH 900 EAST, #531
SALT LAKE CITY, UT 84117
PHONE: (801) 232-8300
EMAIL: Aced1@aol.com



LEGEND

| | |
|-----------|--------------------------|
| --- | SUBJECT PROPERTY LINE |
| - - - - | EXISTING CONTOURS |
| — | HISTORIC DRAINAGE PATH |
| --- | EXISTING CULVERT |
| - · - · - | HYDROLOGIC SOIL BOUNDARY |

| | | | |
|-----|-------------|------|--------|
| NO. | DESCRIPTION | DATE | APPTD. |
| | | | |
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| | |
|---------------|------------|
| ORIG. DATE : | 3/20 |
| SURVEY BY : | RED DESERT |
| DRAWN BY : | TRC/RPE |
| DESIGNED BY : | TRC/RPE |
| CHECKED BY : | RLK |
| SCALE : | 1"=80' |

PEPG CONSULTING LLC
 9270 SOUTH 300 WEST • SANDY, UT 84070
 PHONE: (801) 562-2521 • FAX: (801) 562-2551

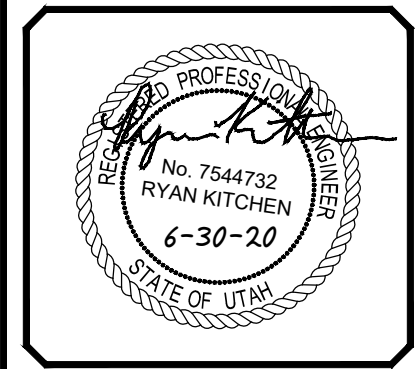
CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT
 GEOTECHNICAL • MATERIALS TESTING • INSPECTIONS

VIEWGATE TERRACE
APPX. 1250 SOUTH HIGHWAY 191
 EXISTING CONDITIONS MAP
 TOPOGRAPHY & DRAINAGE

JUNE 30, 2020
 LAST REVISED

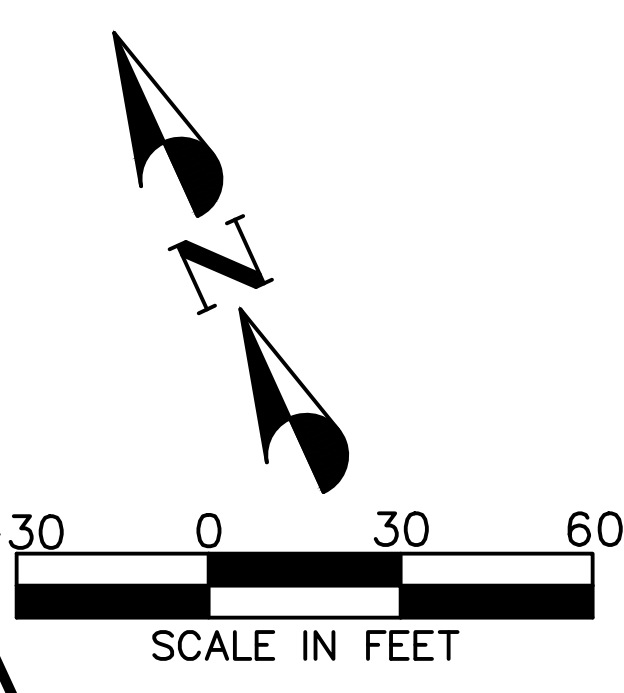
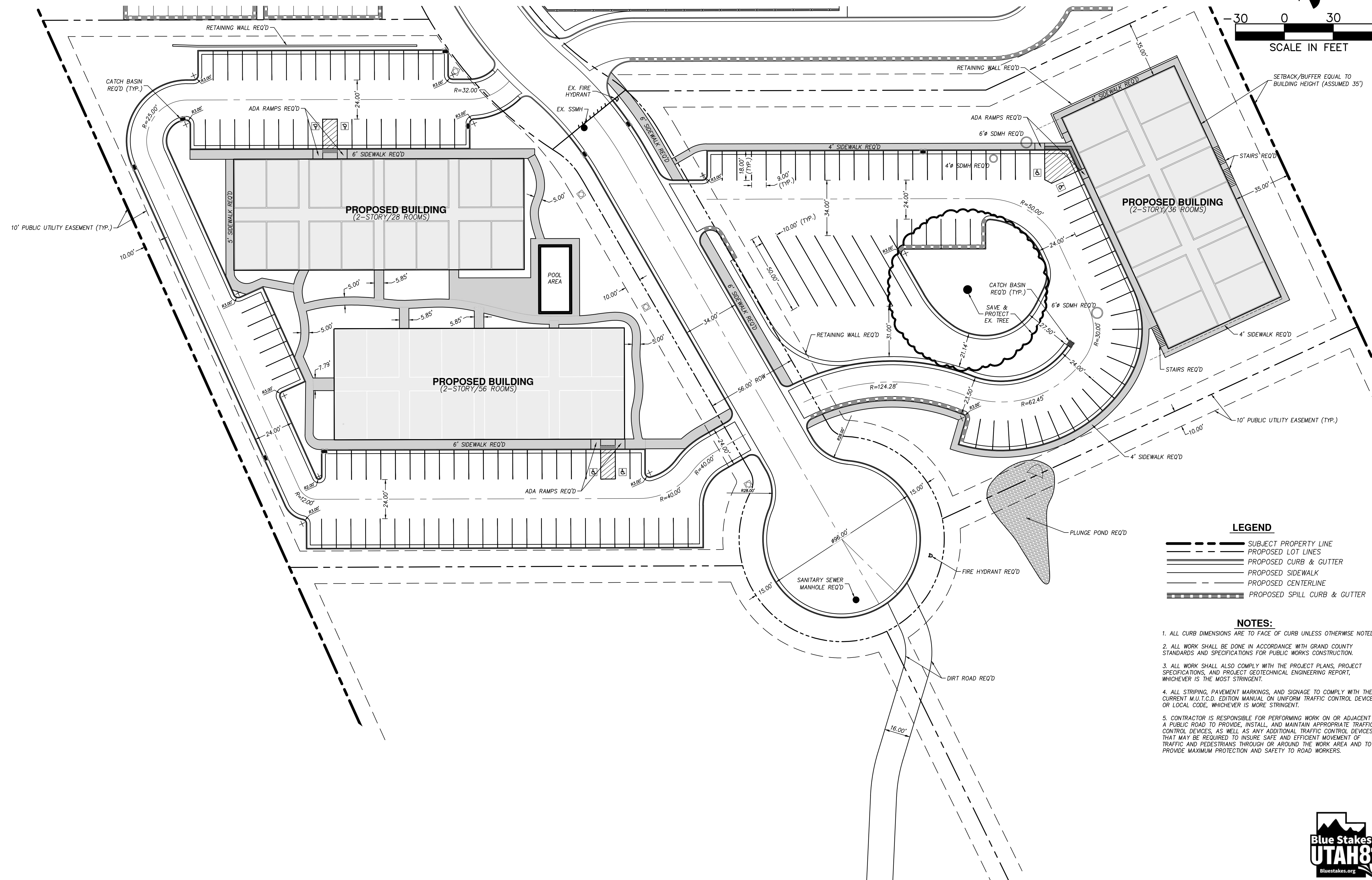
1291.1710 PROJECT NUMBER
 DRAWING FILE

MOAB
CITY



SHEET NO. **C1.0**





LEGEND

| | |
|--|------------------------------|
| | SUBJECT PROPERTY LINE |
| | PROPOSED LOT LINES |
| | PROPOSED CURB & GUTTER |
| | PROPOSED SIDEWALK |
| | PROPOSED CENTERLINE |
| | PROPOSED SPILL CURB & GUTTER |

- NOTES:**
1. ALL CURB DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH GRAND COUNTY STANDARDS AND SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 3. ALL WORK SHALL ALSO COMPLY WITH THE PROJECT PLANS, PROJECT SPECIFICATIONS, AND PROJECT GEOTECHNICAL ENGINEERING REPORT, WHICHEVER IS THE MOST STRINGENT.
 4. ALL STRIPING, PAVEMENT MARKINGS, AND SIGNAGE TO COMPLY WITH THE CURRENT M.U.T.C.D. EDITION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCAL CODE, WHICHEVER IS MORE STRINGENT.
 5. CONTRACTOR IS RESPONSIBLE FOR PERFORMING WORK ON OR ADJACENT TO A PUBLIC ROAD TO PROVIDE, INSTALL, AND MAINTAIN APPROPRIATE TRAFFIC CONTROL DEVICES, AS WELL AS ANY ADDITIONAL TRAFFIC CONTROL DEVICES THAT MAY BE REQUIRED TO INSURE SAFE AND EFFICIENT MOVEMENT OF TRAFFIC AND PEDESTRIANS THROUGH OR AROUND THE WORK AREA AND TO PROVIDE MAXIMUM PROTECTION AND SAFETY TO ROAD WORKERS.

| | | | |
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| NO. | DESCRIPTION | DATE | APPROVED |
| | | | |

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|--------------|------------|
| ORIG. DATE: | 12-1-17 |
| SURVEY BY: | RED DESERT |
| DRAWN BY: | TRC/PRB |
| DESIGNED BY: | TRC/PRB |
| CHECKED BY: | RLK |
| SCALE: | 1"=30' |

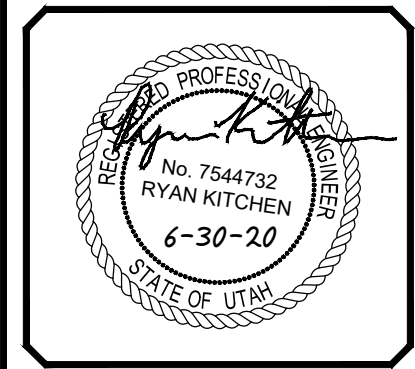
PEPG CONSULTING LLC
 9270 SOUTH 300 WEST • SANDY, UT 84070
 PHONE: (801) 562-2521 • FAX: (801) 562-2551

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 GEOTECHNICAL • MATERIALS TESTING • INSPECTIONS

VIEWGATE TERRACE
APPX. 1250 SOUTH HIGHWAY 191

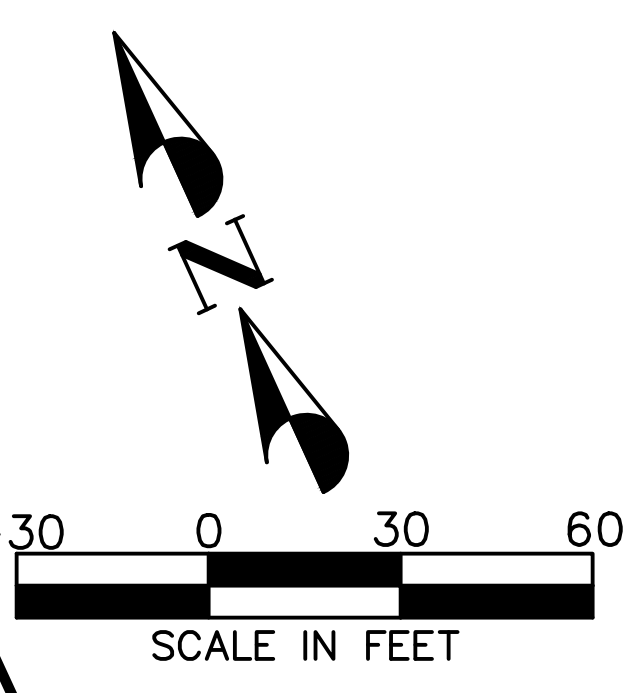
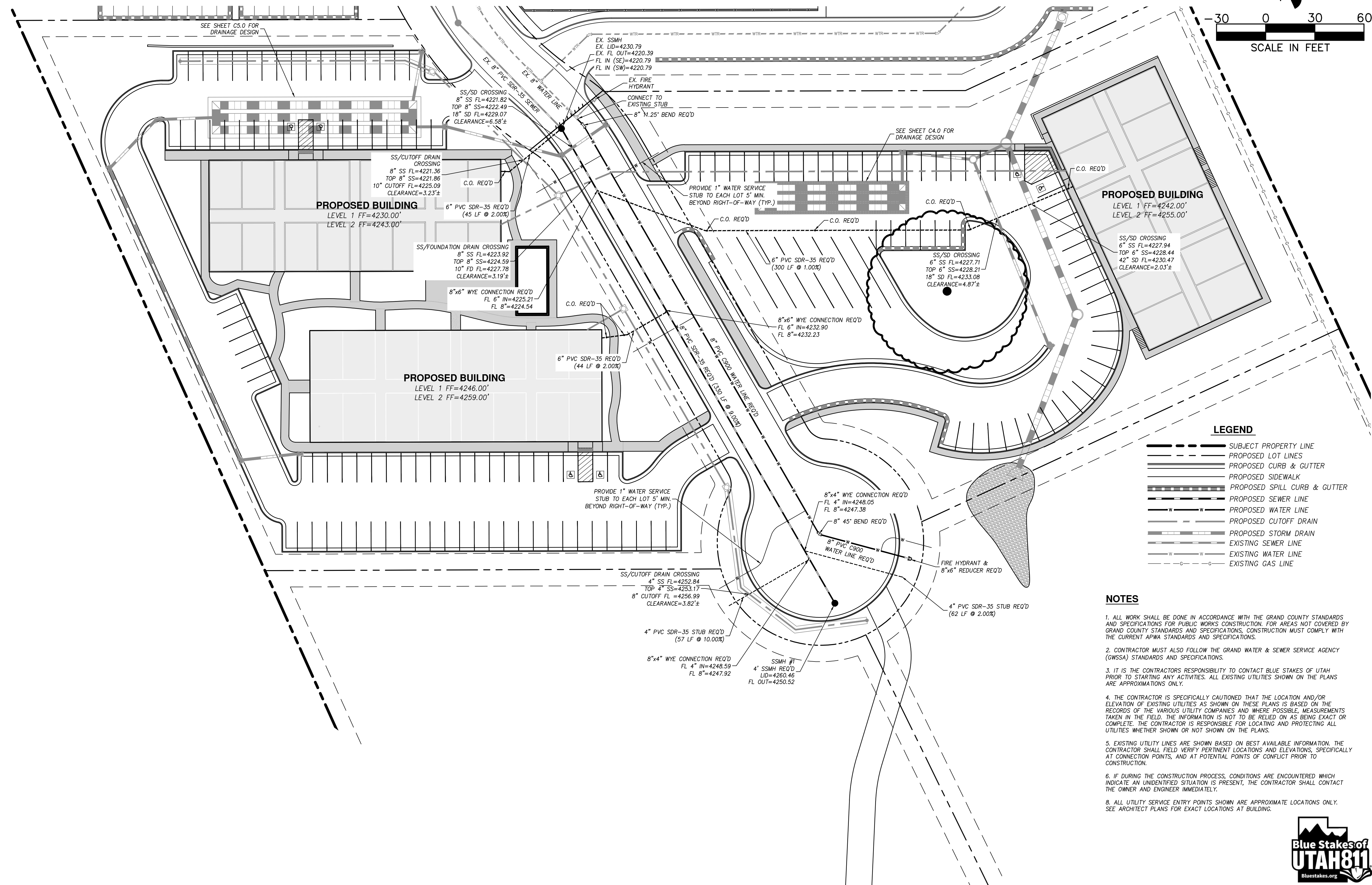
SITE PLAN
 PROJECT NUMBER: 12911710
 DRAWING FILE: DWG_03-SITE-01
 LAST REVISED: JUNE 30, 2020

MOAB CITY

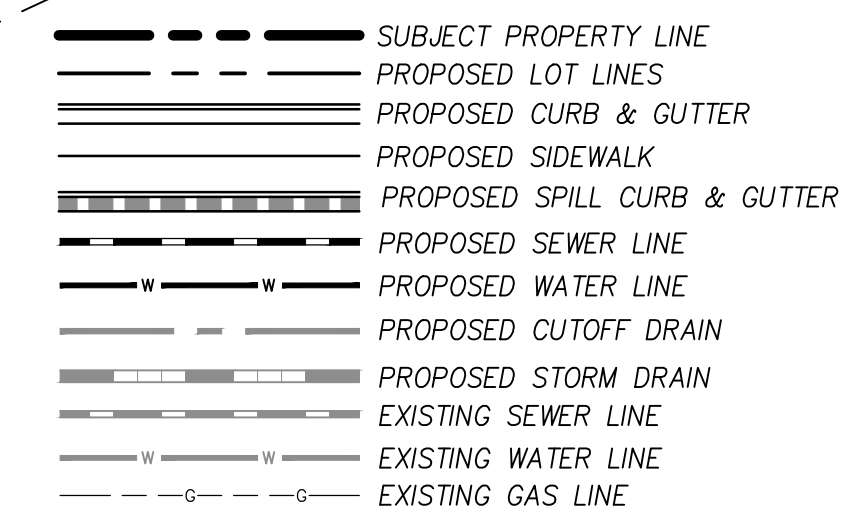


SHEET NO. **C3.0**





LEGEND



NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE GRAND COUNTY STANDARDS AND SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. FOR AREAS NOT COVERED BY GRAND COUNTY STANDARDS AND SPECIFICATIONS, CONSTRUCTION MUST COMPLY WITH THE CURRENT APWA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR MUST ALSO FOLLOW THE GRAND WATER & SEWER SERVICE AGENCY (GWSSA) STANDARDS AND SPECIFICATIONS.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT BLUE STAKES OF UTAH PRIOR TO STARTING ANY ACTIVITIES. ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATIONS ONLY.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
5. EXISTING UTILITY LINES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL FIELD VERIFY PERTINENT LOCATIONS AND ELEVATIONS, SPECIFICALLY AT CONNECTION POINTS, AND AT POTENTIAL POINTS OF CONFLICT PRIOR TO CONSTRUCTION.
6. IF DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH INDICATE AN UNIDENTIFIED SITUATION IS PRESENT, THE CONTRACTOR SHALL CONTACT THE OWNER AND ENGINEER IMMEDIATELY.
8. ALL UTILITY SERVICE ENTRY POINTS SHOWN ARE APPROXIMATE LOCATIONS ONLY. SEE ARCHITECT PLANS FOR EXACT LOCATIONS AT BUILDING.

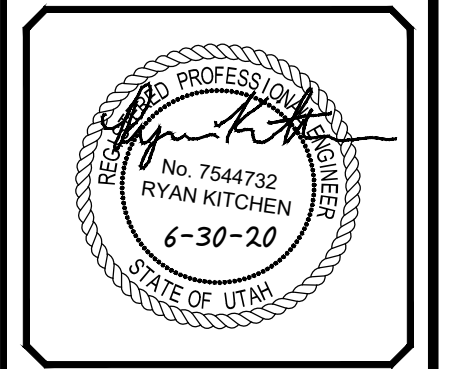
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| NO. | DESCRIPTION | DATE | APPROVED |
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| ORIG. DATE: | 12-1-17 |
| SURVEY BY: | RED DESERT |
| DRAWN BY: | TRC/JPB |
| DESIGNED BY: | TRC/JPB |
| CHECKED BY: | RLK |
| SCALE: | 1"=30' |

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 PHONE: (801) 562-2521 • FAX: (801) 562-2551
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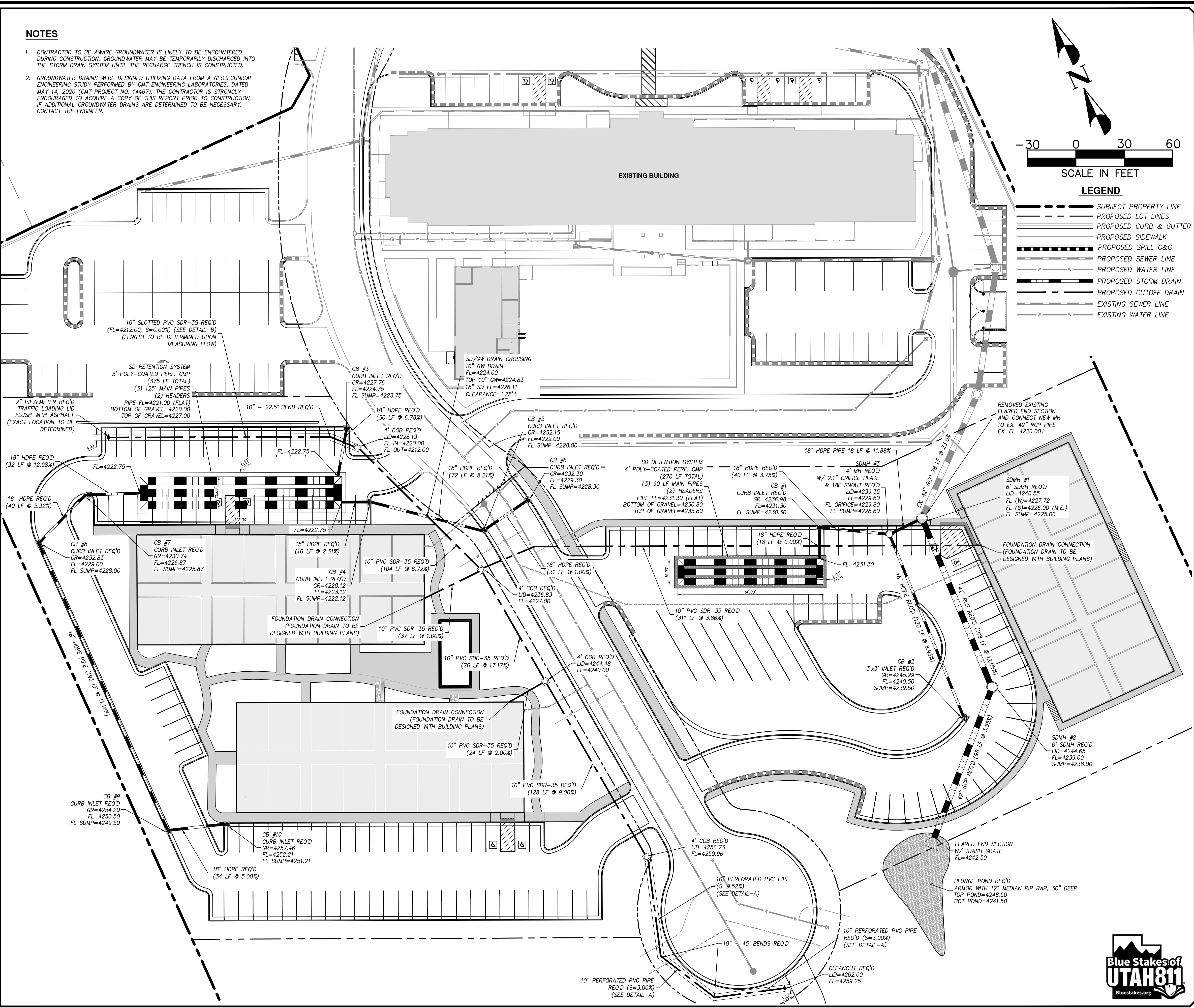
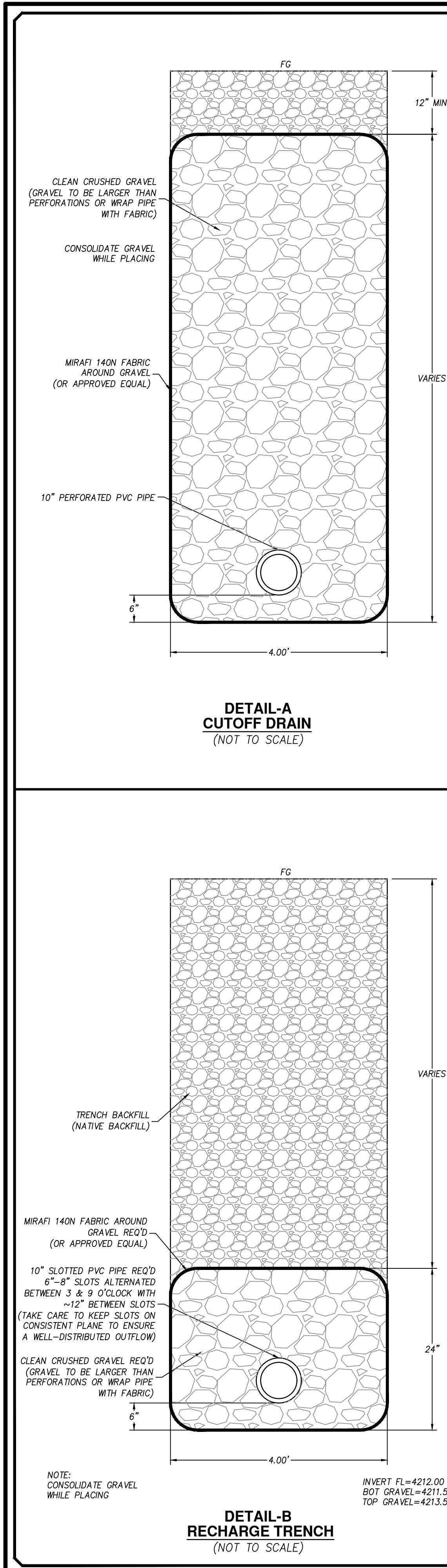
VIEWGATE TERRACE
APPX. 1250 SOUTH HIGHWAY 191
 UTILITY PLAN
 PROJECT NUMBER: 12911710
 DRAWING FILE: DWG/04-UTILITY-01
 LAST REVISION: JUNE 30, 2020

MOAB CITY



SHEET NO. **C4.0**





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VIEWGATE TERRACE
APPX. 1250 SOUTH HIGHWAY 191
DRAINAGE PLAN

MOAB CITY

Blue Stakes of UTAH 811

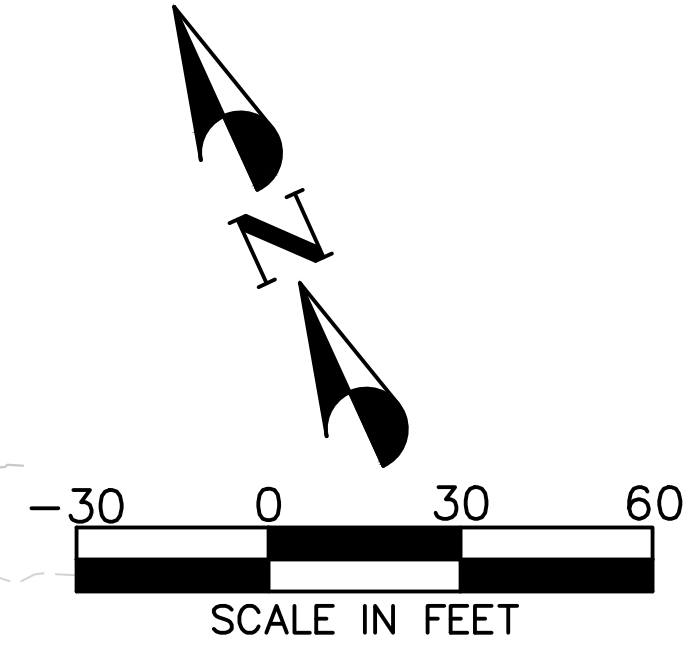
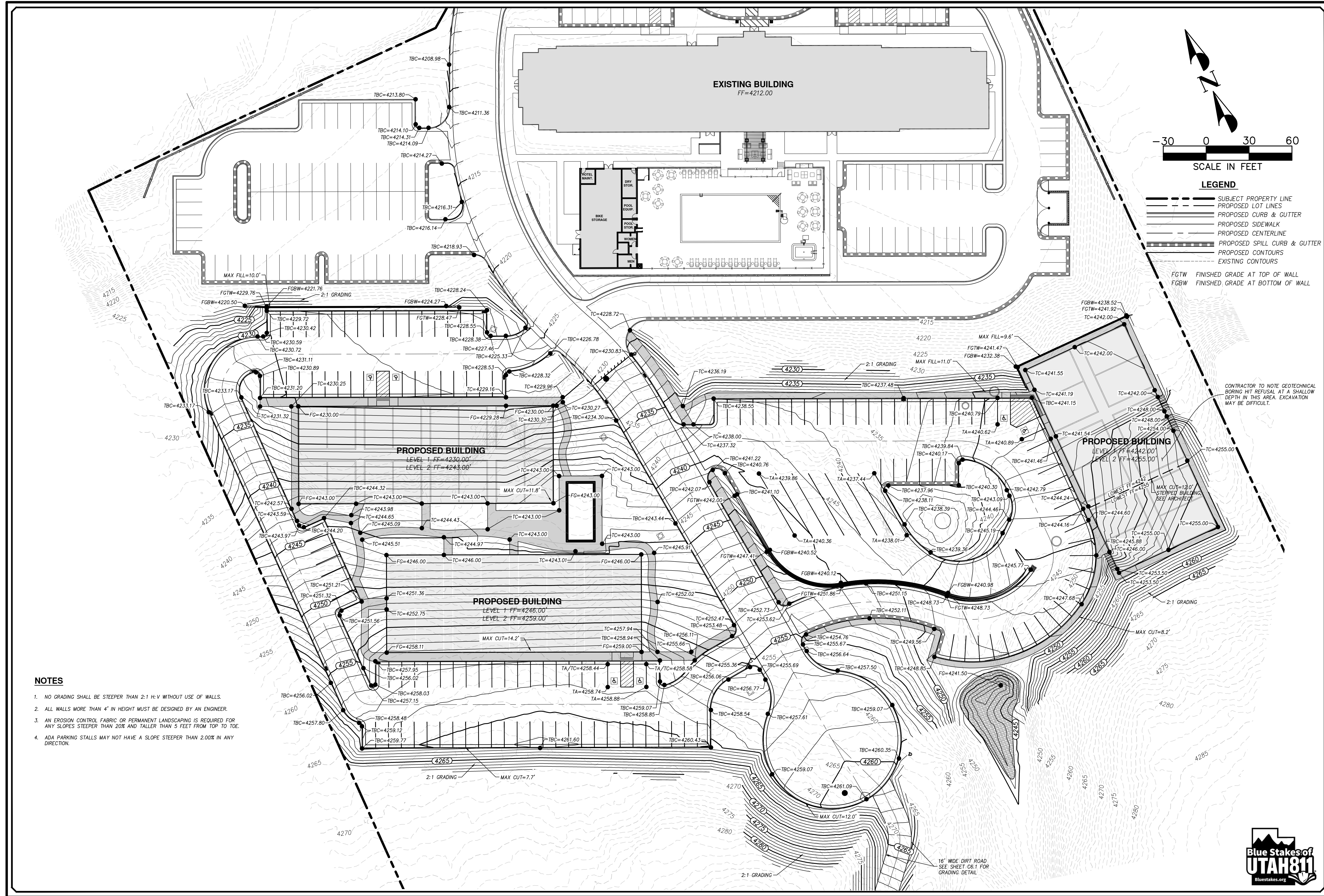
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SURVEY BY: RED DESERT
DRAWN BY: TRC/PBE
DESIGNED BY: TRC/PBE
CHECKED BY: RAK
SCALE: 1"=30'
NO. DESCRIPTION
DATE

JUNE 30, 2020
LAST REVISED

12911710
PROJECT NUMBER

DWG 05-DRAIN-01
DRAWING FILE

SHEET NO. **C5.0**



LEGEND

| | |
|--|------------------------------|
| | SUBJECT PROPERTY LINE |
| | PROPOSED LOT LINES |
| | PROPOSED CURB & GUTTER |
| | PROPOSED SIDEWALK |
| | PROPOSED CENTERLINE |
| | PROPOSED SPILL CURB & GUTTER |
| | PROPOSED CONTOURS |
| | EXISTING CONTOURS |

FGTW FINISHED GRADE AT TOP OF WALL
 FGBW FINISHED GRADE AT BOTTOM OF WALL

CONTRACTOR TO NOTE GEOTECHNICAL BORING HIT REFUSAL AT A SHALLOW DEPTH IN THIS AREA. EXCAVATION MAY BE DIFFICULT.

- NOTES**
- NO GRADING SHALL BE STEEPER THAN 2:1 H:V WITHOUT USE OF WALLS.
 - ALL WALLS MORE THAN 4' IN HEIGHT MUST BE DESIGNED BY AN ENGINEER.
 - AN EROSION CONTROL FABRIC OR PERMANENT LANDSCAPING IS REQUIRED FOR ANY SLOPES STEEPER THAN 20% AND TALLER THAN 5 FEET FROM TOP TO TOE.
 - ADA PARKING STALLS MAY NOT HAVE A SLOPE STEEPER THAN 2.00% IN ANY DIRECTION.

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| NO. | DESCRIPTION | DATE | APPRO |
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|--------------|------------|
| ORIG. DATE: | 12-1-17 |
| SURVEY BY: | RED DESERT |
| DRAWN BY: | TRC/RRP |
| DESIGNED BY: | TRC/RRP |
| CHECKED BY: | RLK |
| SCALE: | 1"=30' |

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 PHONE: (801) 562-2521 • FAX: (801) 562-2551

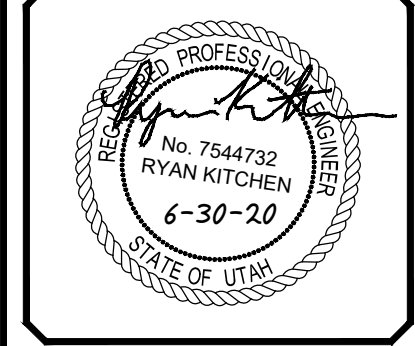
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 GEOTECHNICAL • MATERIALS TESTING • INSPECTIONS

VIEWGATE TERRACE
APPX. 1250 SOUTH HIGHWAY 191

GRADING PLAN

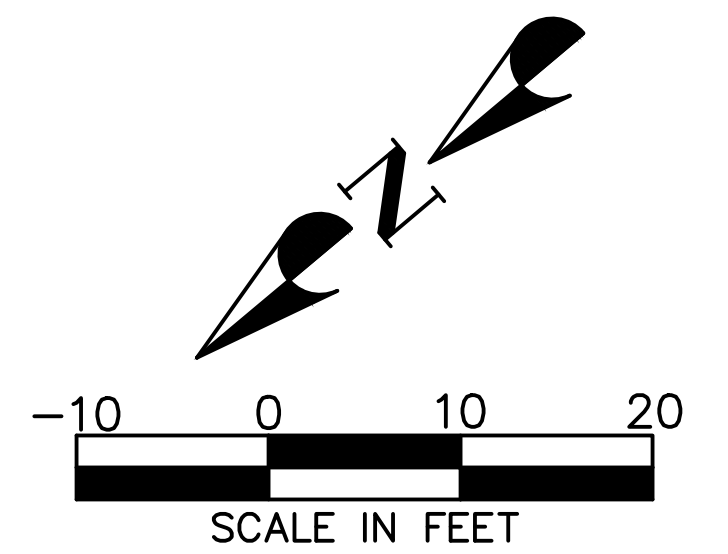
JUNE 30, 2020
 PROJECT NUMBER: 12911710
 DRAWING FILE: DWG 06-GRADING-01
 LAST REVISED:

MOAB CITY



SHEET NO. **C6.0**





LEGEND

- SUBJECT PROPERTY LINE
- PROPOSED LOT LINES
- PROPOSED CURB & GUTTER
- PROPOSED SIDEWALK
- PROPOSED CENTERLINE
- PROPOSED SPILL CURB & GUTTER
- PROPOSED CONTOURS
- EXISTING CONTOURS

FGTW FINISHED GRADE AT TOP OF WALL
 FGBW FINISHED GRADE AT BOTTOM OF WALL



- NOTES**
1. NO GRADING SHALL BE STEEPER THAN 2:1 H:V WITHOUT USE OF WALLS.
 2. ALL WALLS MORE THAN 4' IN HEIGHT MUST BE DESIGNED BY AN ENGINEER.
 3. AN EROSION CONTROL FABRIC OR PERMANENT LANDSCAPING IS REQUIRED FOR ANY SLOPES STEEPER THAN 20% AND TALLER THAN 5 FEET FROM TOP TO TOE.
 4. ADA PARKING STALLS MAY NOT HAVE A SLOPE STEEPER THAN 2.00% IN ANY DIRECTION.

| NO. | DESCRIPTION | DATE | APP'D |
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ORIG. DATE: 12-1-17
 SURVEY BY: RED DESERT
 DRAWN BY: TRC/PRB
 DESIGNED BY: TRC/PRB
 CHECKED BY: RLK
 SCALE: 1"=10'

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 PHONE: (801) 562-2521 • FAX: (801) 562-2551

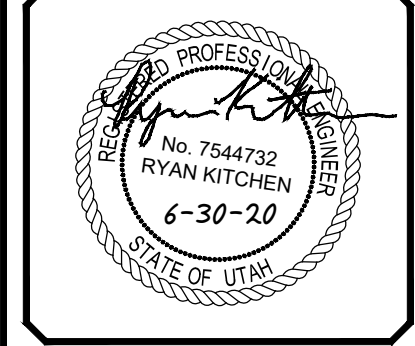
CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT
 GEOTECHNICAL • MATERIALS TESTING • INSPECTIONS

VIEWGATE TERRACE
APPX. 1250 SOUTH HIGHWAY 191

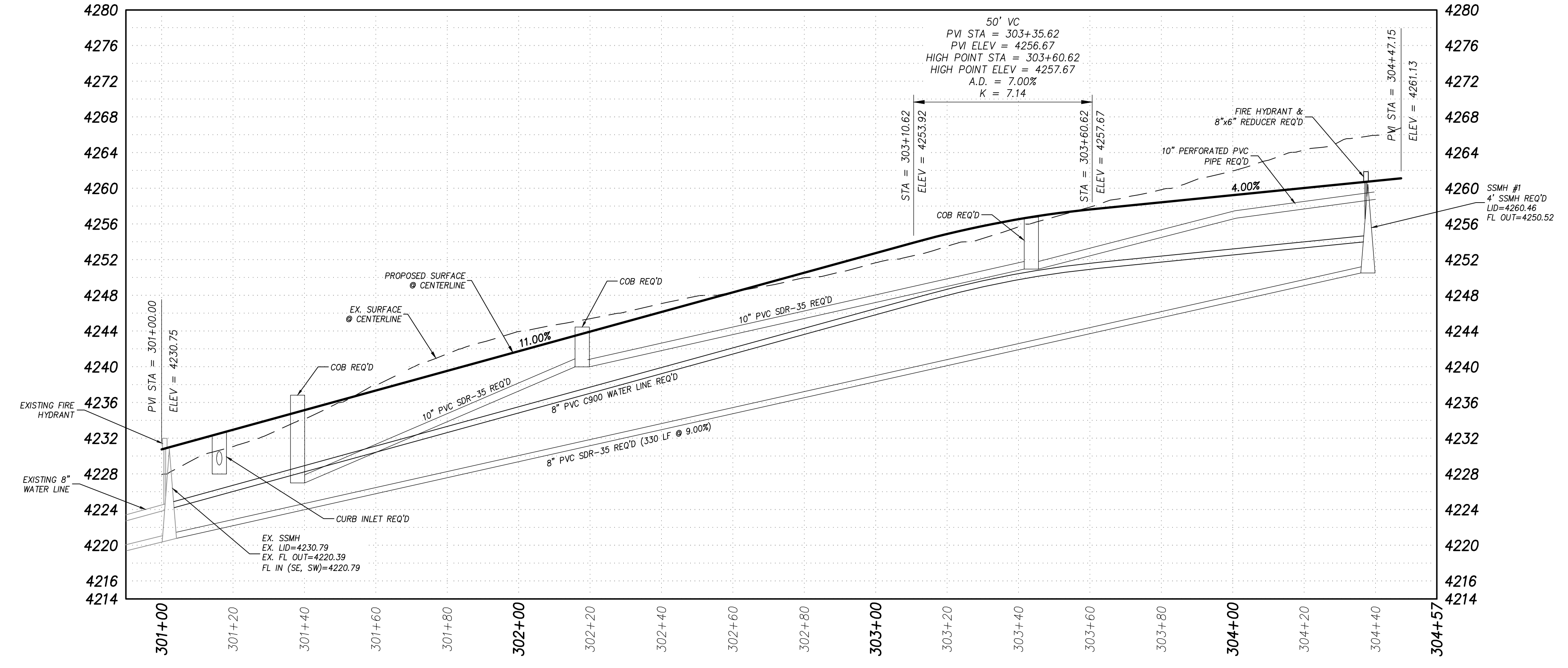
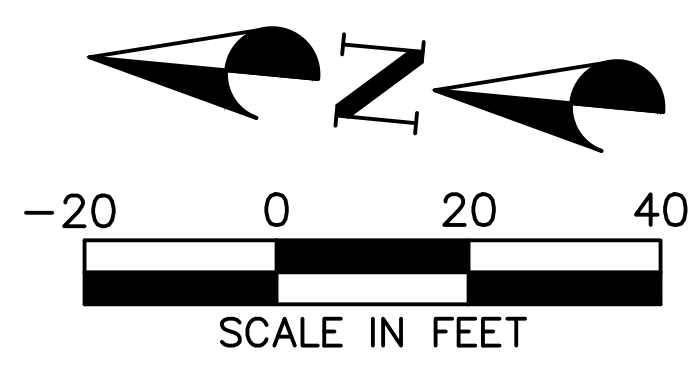
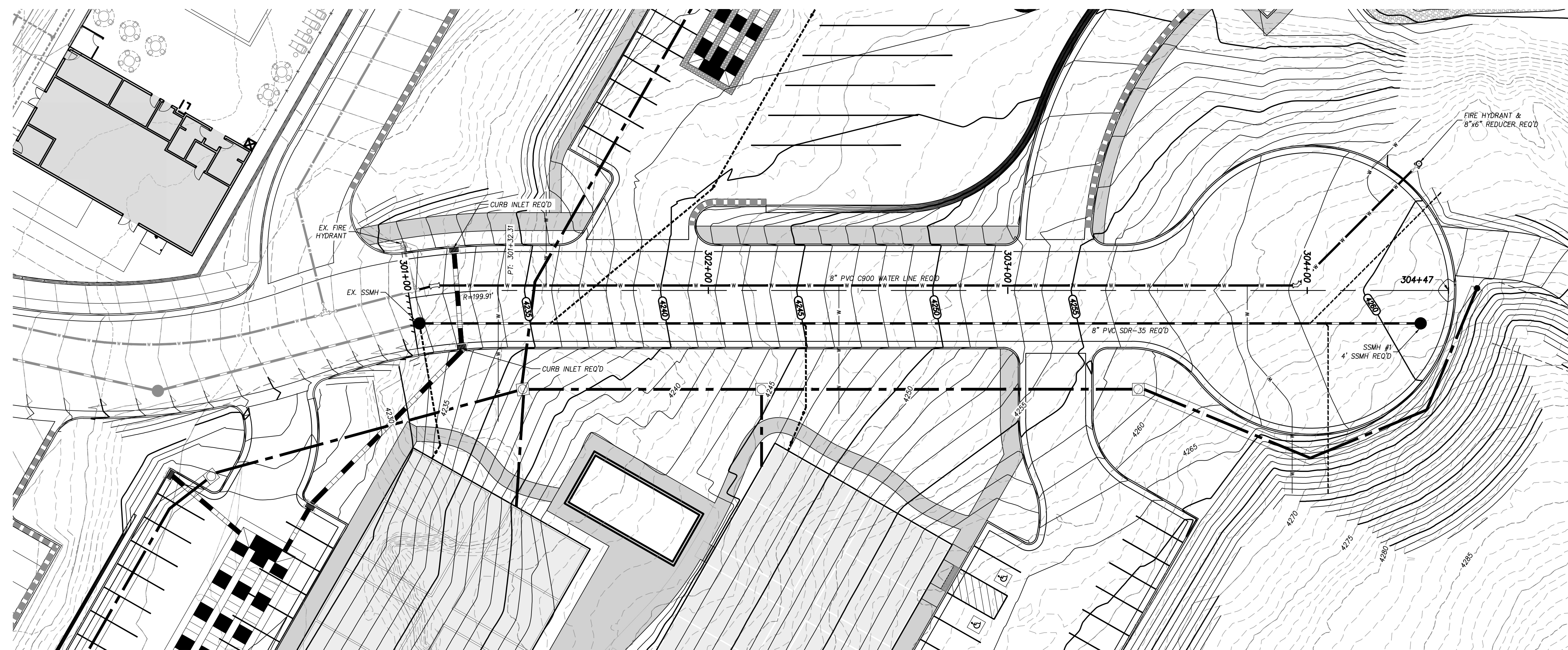
GRADING PLAN

1291.1710 PROJECT NUMBER
 1291.1710 DRAWING FILE
 JUN 30, 2020
 LAST REVISION

MOAB CITY



SHEET NO. **C6.1**



| NO. | DESCRIPTION | DATE | APPRO |
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ORIG. DATE : 3/20
 SURVEY BY : RED DESERT
 DRAWN BY : TRC/RPE
 DESIGNED BY : TRC/RPE
 CHECKED BY : RLK
 SCALE : 1"=20'

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 GEOTECHNICAL • MATERIALS TESTING • INSPECTIONS

VIEWGATE TERRACE

APPX. 1250 SOUTH HIGHWAY 191

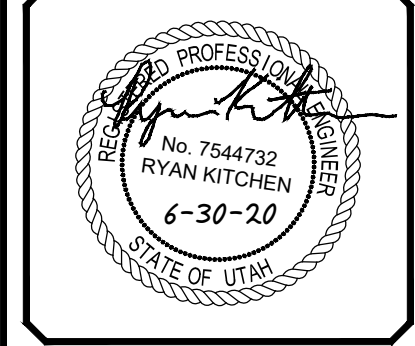
PLAN & PROFILE

JUN 30, 2020
 LAST REVISED

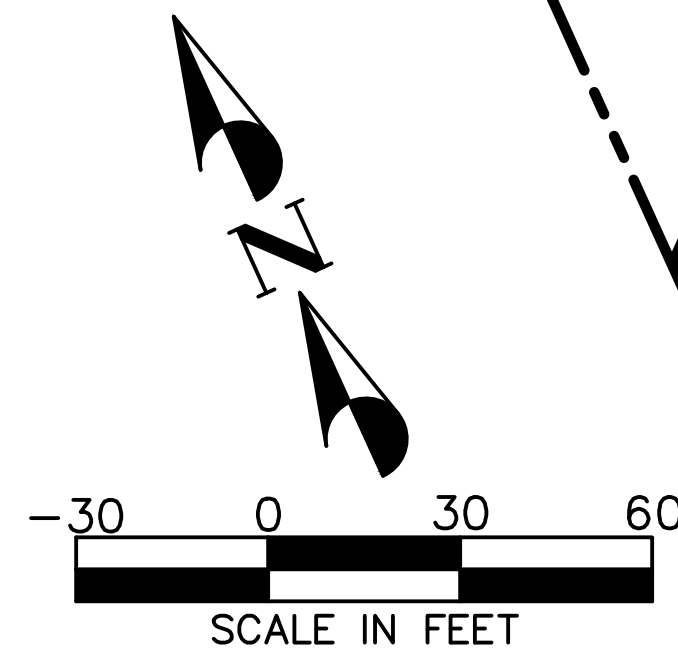
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 PROJECT NUMBER

DWG 107-PL&PRO
 DRAWING FILE

MOAB CITY



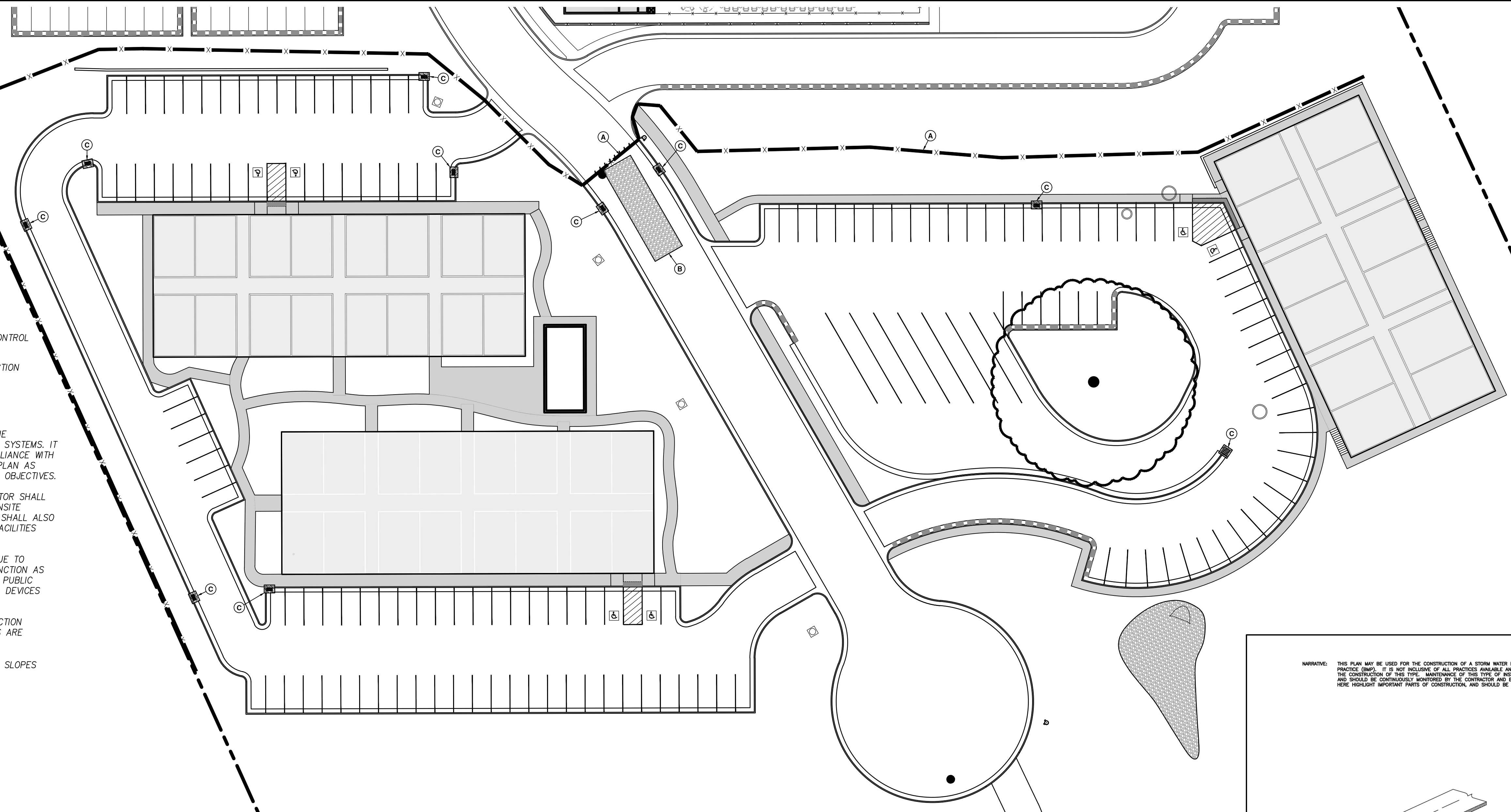
SHEET NO. **C7.0**



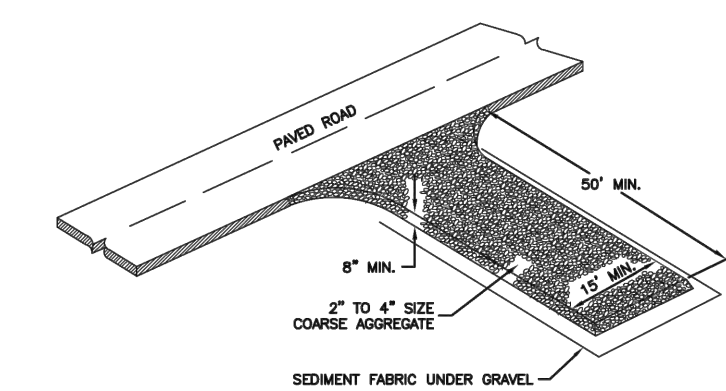
- A** ——— PROPOSED SILT FENCE
(SEE DETAIL-A ON THIS SHEET)
- B** [Pattern] PROPOSED VEHICLE TRACKING CONTROL
(SEE DETAIL-B ON THIS SHEET)
- C** [Pattern] PROPOSED CATCH BASIN PROTECTION
(SEE DETAIL-C ON THIS SHEET)

NOTES:

1. THIS PLAN HAS BEEN PREPARED AS A GUIDE FOR THE INSTALLATION OF STORM WATER POLLUTION PREVENTION SYSTEMS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLIANCE WITH ALL U.P.D.E.S. PERMIT REQUIREMENTS AND TO ADJUST PLAN AS NECESSARY TO MEET SITE SURFACE WATER PROTECTION OBJECTIVES.
2. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING ONSITE EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.
3. ADDITIONAL EROSION CONTROL MEASURES MAY BE DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED. A REPRESENTATIVE OF THE CITY OR COUNTY PUBLIC WORKS DEPARTMENT MAY REQUIRE ADDITIONAL CONTROL DEVICES UPON INSPECTION OF PROPOSED FACILITIES.
4. CONTRACTOR MAY REMOVE TEMPORARY INLET PROTECTION DEVICES AND SILT FENCING AFTER PAVEMENT SURFACES ARE COMPLETED AND/OR VEGETATION IS RE-ESTABLISHED.
5. PLACE EROSION CONTROL FABRIC ON ALL DISTURBED SLOPES OVER 20%.



NOTE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.

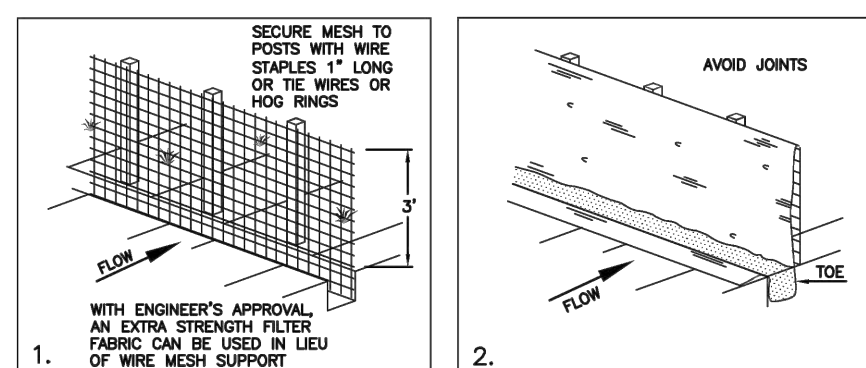


Stabilized roadway entrance

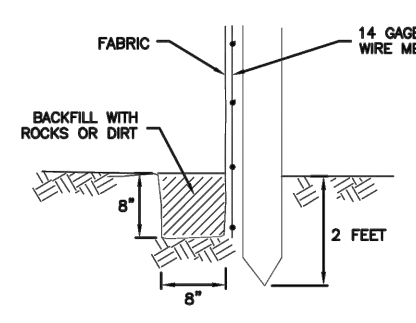
1. **GENERAL**
 - A. Description. A temporary stabilized pad of gravel for controlling equipment and construction vehicle access to the site.
 - B. Application. At any site where vehicles and equipment enter the public right of way.
2. **PRODUCT** (Not used)
3. **EXECUTION**
 - A. Clear and grub area and grade to provide maximum slope of 1 percent away from paved roadway.
 - B. Compact subgrade.
 - C. Place filter fabric under stone if desired (recommended for entrance area that remains more than 3 months).
 - D. Maintenance.
 - 1) Prevent tracking or flow of mud into the public right-of-way.
 - 2) Periodic top dressing with 2-inch stone may be required, as conditions demand, and repair any structures used to trap sediments.
 - 3) Inspect daily for loss of gravel or sediment buildup.
 - 4) Inspect adjacent area for sediment deposit and install additional controls as necessary.
 - 5) Expand stabilized area as required to accommodate activities.

DETAIL-B
VEHICLE TRACKING CONTROL
(SEE APWA PLAN 126)

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



INSTALLATION SEQUENCE



DETAIL-A
SILT FENCE
(SEE APWA PLAN NO. 122)

Product selection for FLEXSTORM CATCH-IT Filters (Temporary Inlet Protection)

| Standard | Inlet Type | Grate Size | Opening Size | Bag Cap. (ft ³) | Flow Ratings (CFS) | | ADS P/N |
|-------------------------------|----------------------|------------|--------------|-----------------------------|--------------------|--------|--------------|
| | | | | | FX | Bypass | |
| 12" x 12" precast catch basin | Concrete Box (HD) | 15 x 15 | 12 x 12 | 0.9 | 1.0 | 2.6 | 62SQ12FX |
| 18" x 18" precast catch basin | Concrete Box (HD) | 21 x 18 | 18 x 18 | 2.1 | 1.5 | 3.9 | 62SQ18FX |
| 24" x 24" precast catch basin | Concrete Box (HD) | 27 x 24 | 24 x 24 | 3.4 | 1.9 | 5.0 | 62SQ24FX |
| 35.5x18 Curb Box | Curb Inlet (CB) | 35.5x18 | 33x15.5 | 3.4 | 2.0 | 4.6 | 62UTCBE1FX |
| 36" x 24" precast catch basin | Concrete Box (HD) | 40 x 24 | 36 x 24 | 5.6 | 2.5 | 6.5 | 62SQ3624FX |
| 36" X 24" Combination inlet | Concrete Box (HD) | 40 x 24 | 36 x 32 | 4.5 | 2.3 | 5.9 | 62SQCB3624FX |
| 48 x 18 drop inlet | Frame and Grate (SQ) | 48x18 | 44x18 | 4.7 | 2.6 | 5.5 | 62SQ4818FX |
| 36" X 36" precast catch basin | Concrete Box (HD) | 40 x 36 | 36 x 36 | 7.6 | 4.4 | 10.0 | 62SQ36FX |
| 48" X 48" precast catch basin | Concrete Box (HD) | 52 x 48 | 48 x 48 | 13.8 | 5.4 | 12.0 | 62SQ48FX |

*FLOW RATINGS SHOWN ARE 50% MAXIMUM

NOTES:

1. ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL FRAMING FOR PROLONGED PRODUCT LIFE.
2. TOTAL BYPASS CAPACITY WILL VARY WITH EACH SIZED DRAINAGE STRUCTURE. FLEXSTORM DESIGNS FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE. CONCRETE STRUCTURES MAY REQUIRE ADDITIONAL REVIEW.
3. UPON ORDERING THE ADS P/N CONFIRMATION OF THE DOT CALLOUT, FLEXSTORM ITEM CODE, CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED.
4. FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

DETAIL-C
INLET PROTECTION DETAIL
FLEXSTORM CATCH-IT INLET FILTER
REQ'D (OR APPROVED EQUAL)

| NO. | DESCRIPTION | DATE | APPROVED |
|-----|-------------|------|----------|
| | | | |
| | | | |

ORIG. DATE: 12-1-17
 SURVEY BY: RED DESERT
 DRAWN BY: TO/LC
 DESIGNED BY: TC
 CHECKED BY: RLK
 SCALE: 1"=30'

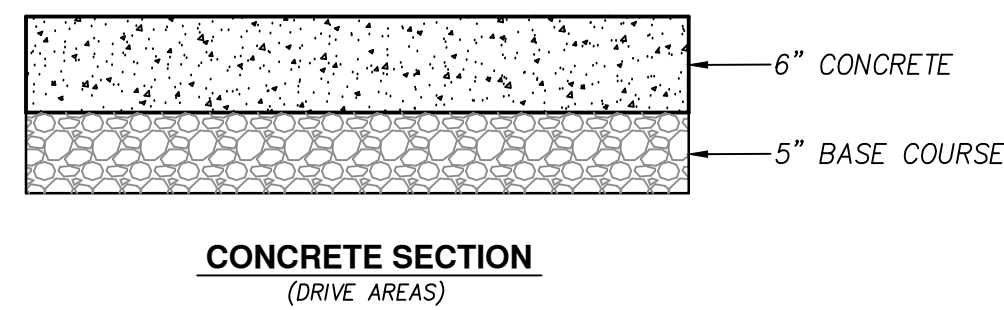
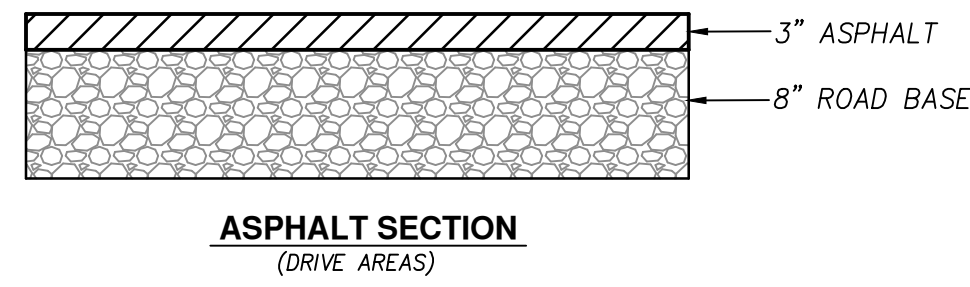
PEPG CONSULTING LLC
 9270 SOUTH 300 WEST • SANDY, UT 84070
 PHONE: (801) 562-2521 • FAX: (801) 562-2551
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VIEWGATE TERRACE
APPX. 1250 SOUTH HIGHWAY 191
 EROSION CONTROL PLAN
 DWG 08-EROS-01
 PROJECT NUMBER
 JUNE 30, 2020
 LAST REVISED

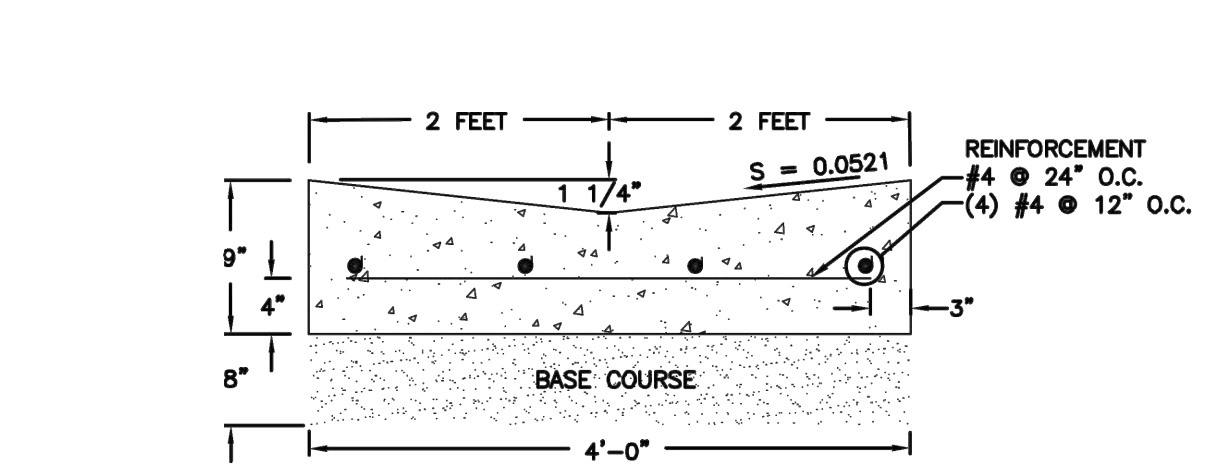
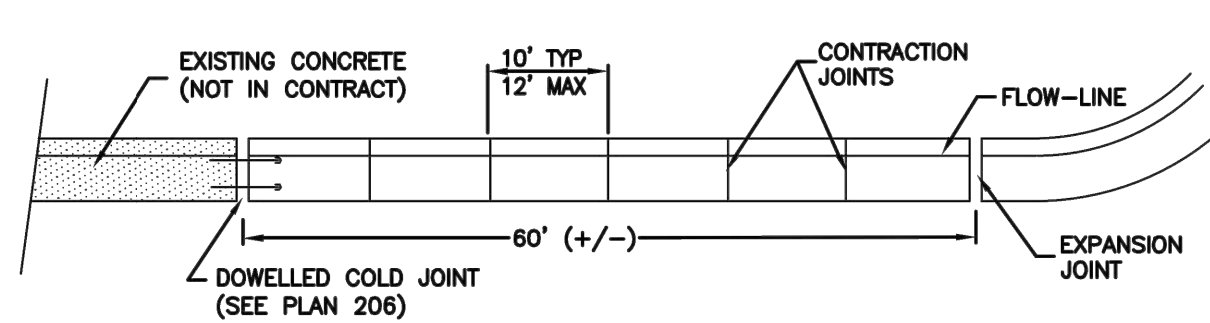
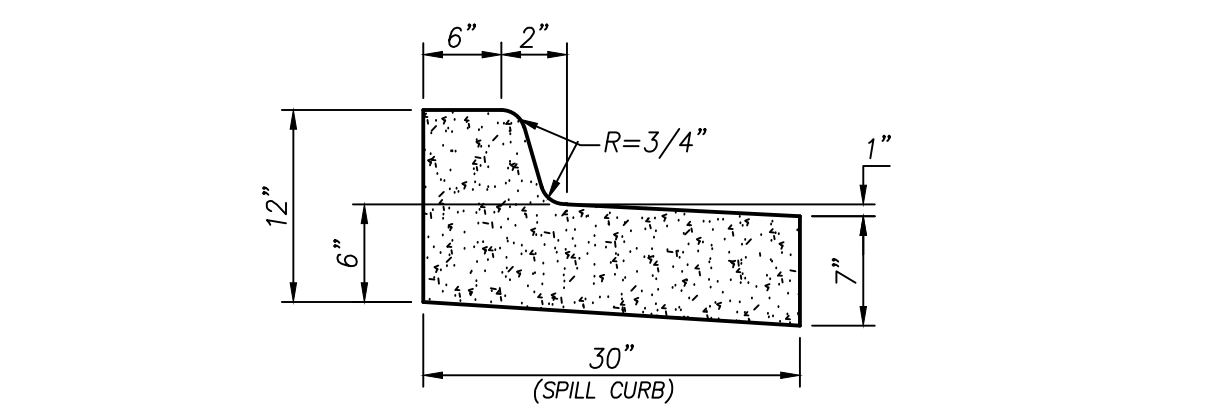
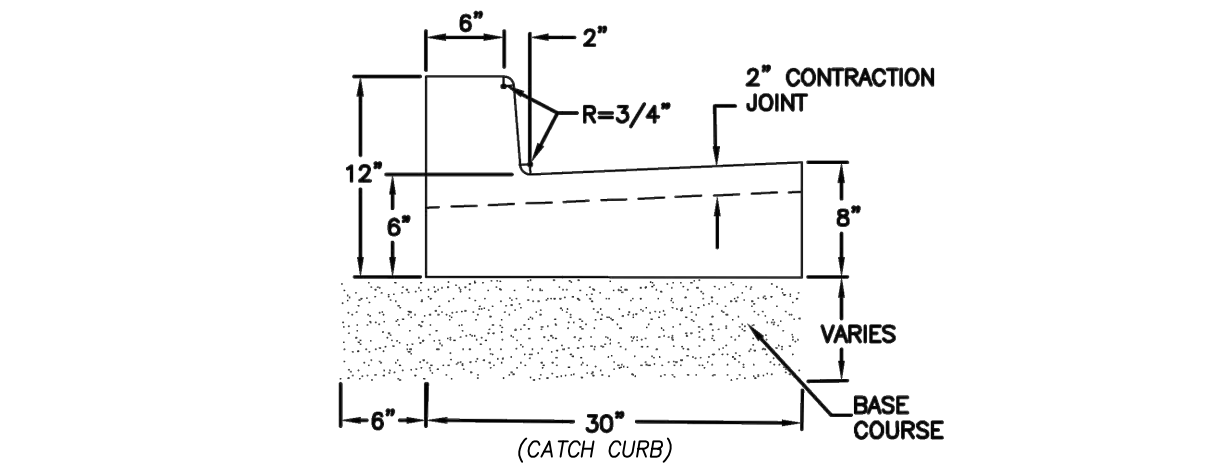
MOAB CITY

Professional Engineer
 No. 7544732
 RYAN KITCHEN
 6-30-20
 STATE OF UTAH

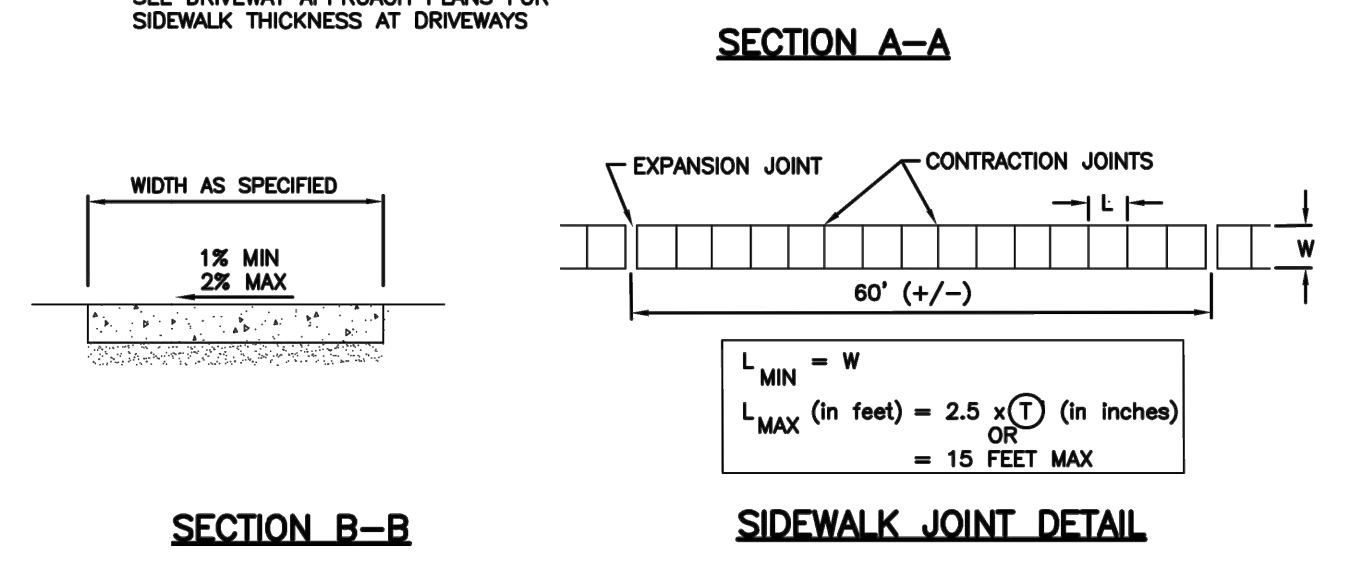
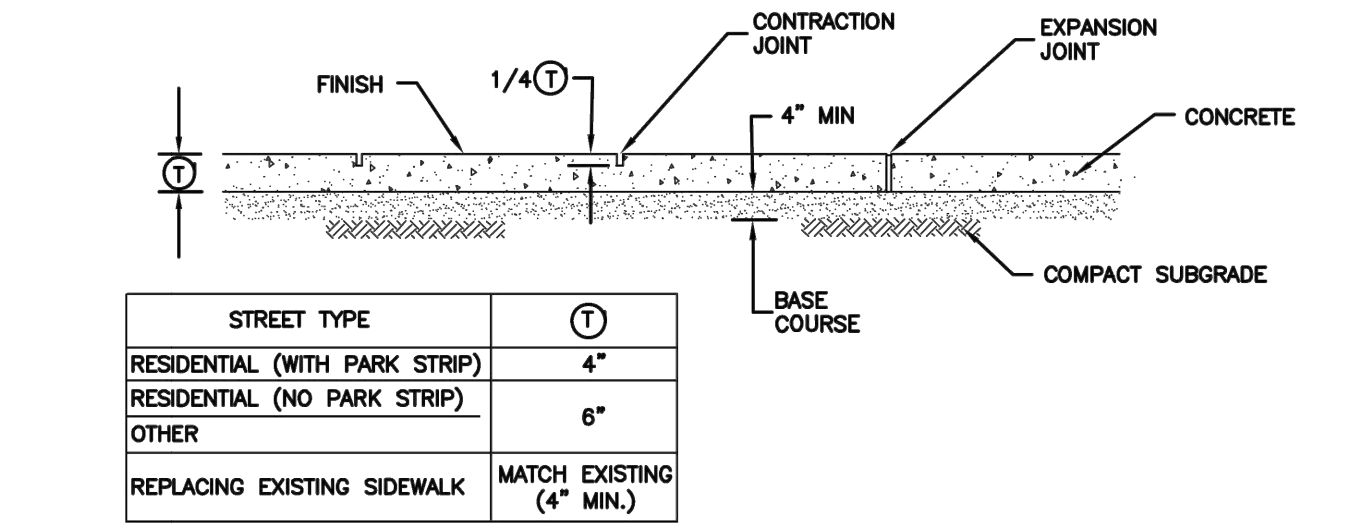
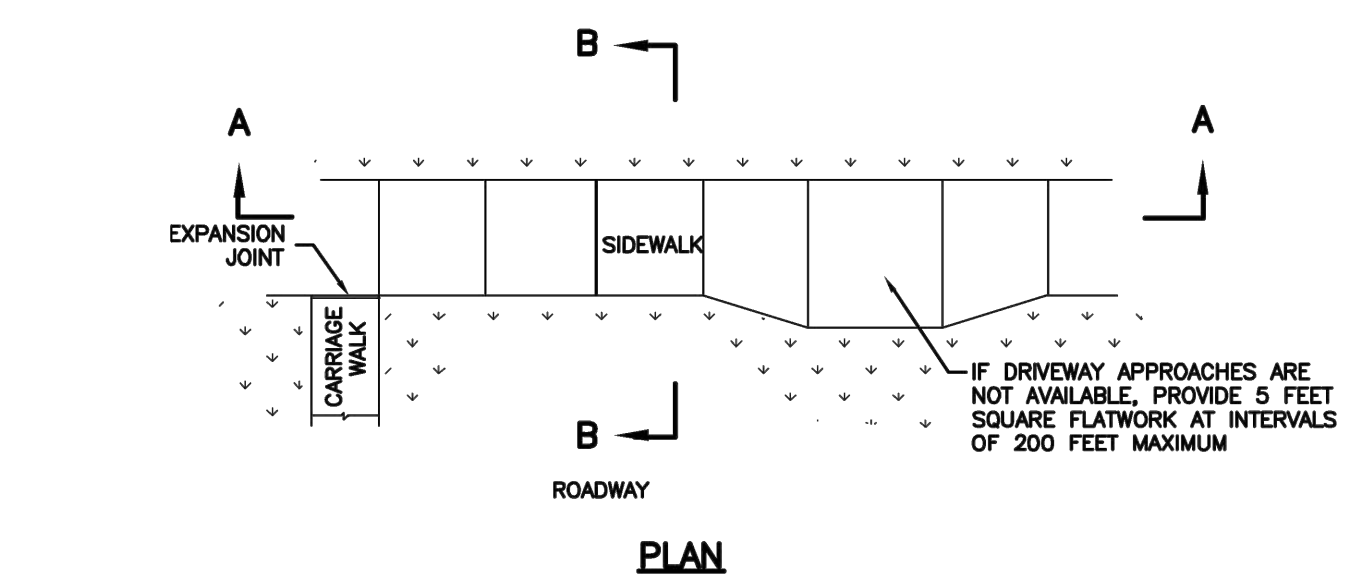
SHEET NO. **C8.0**



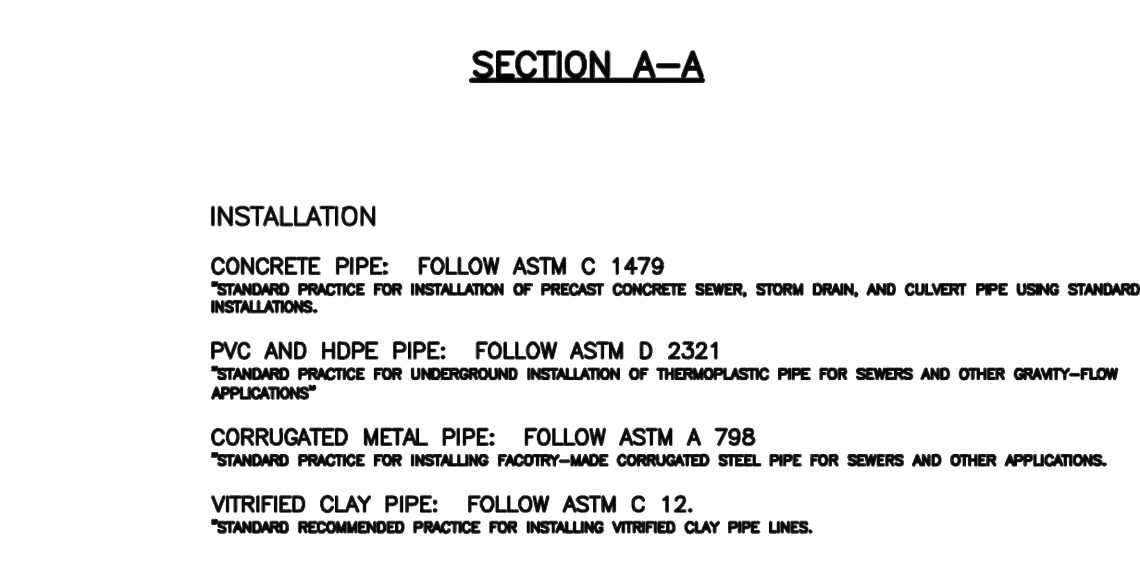
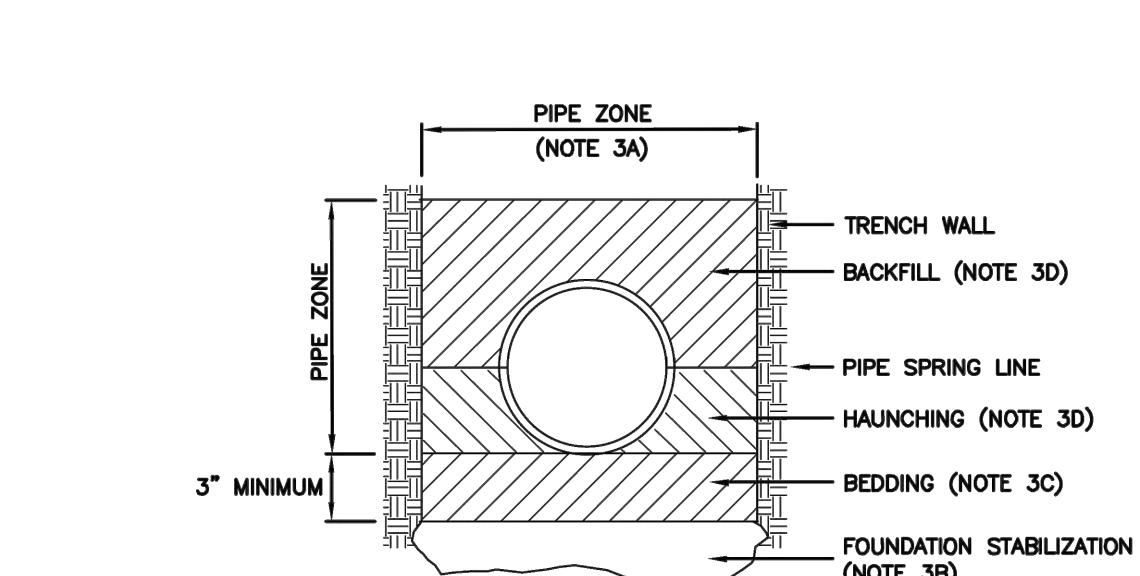
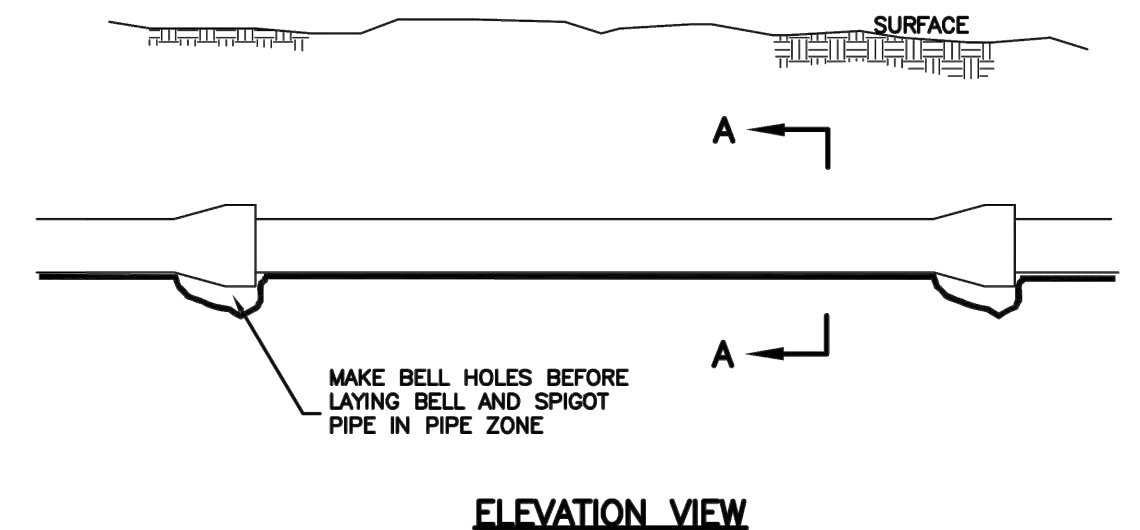
DETAIL-A
PAVEMENT SECTIONS
(NOT TO SCALE)



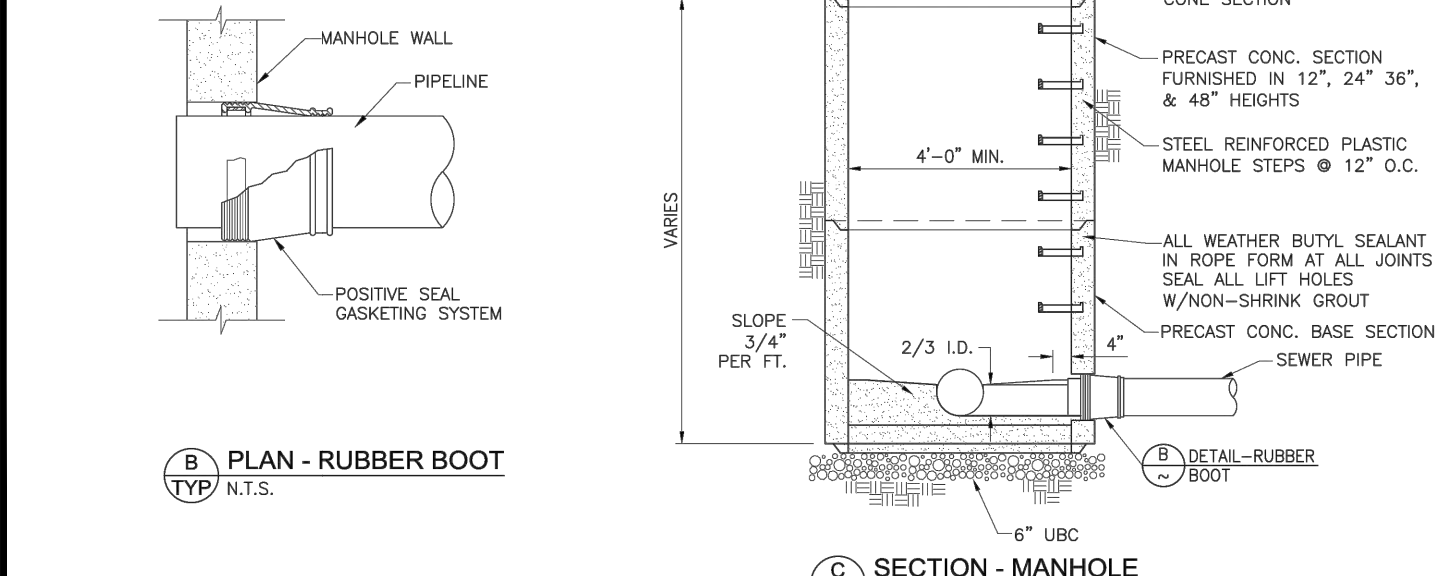
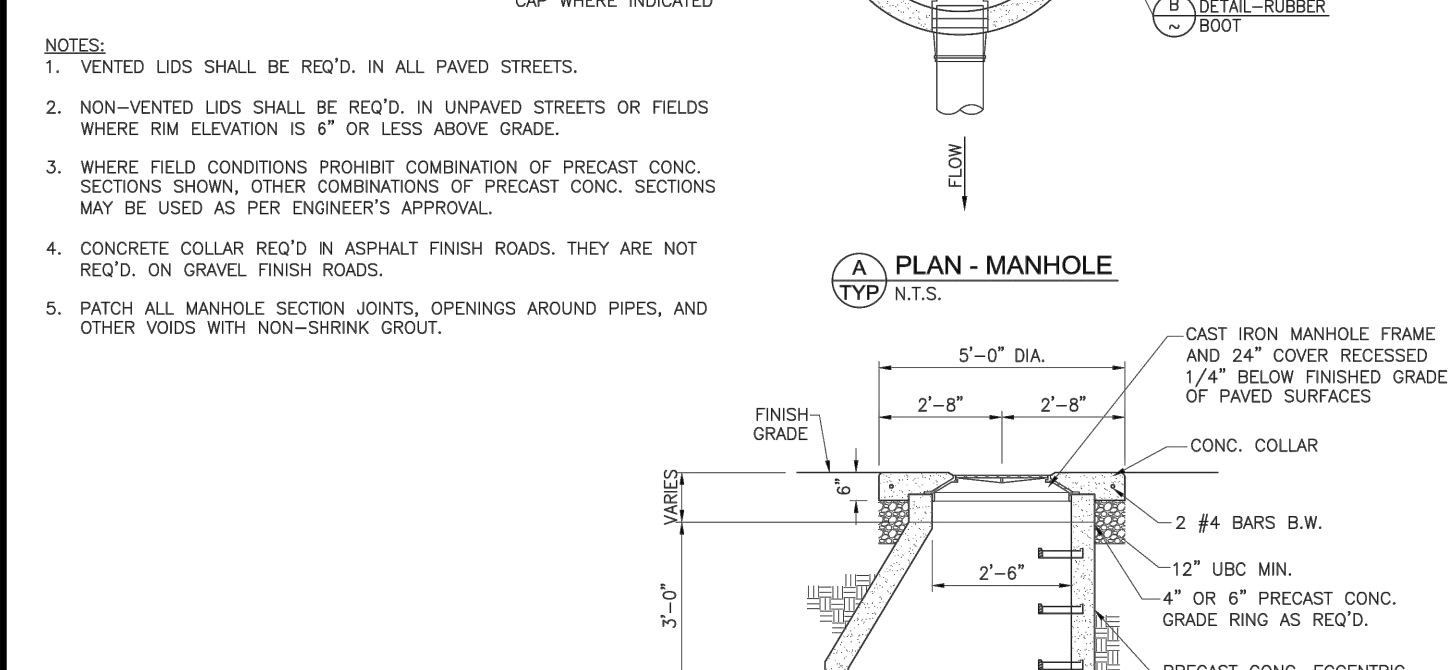
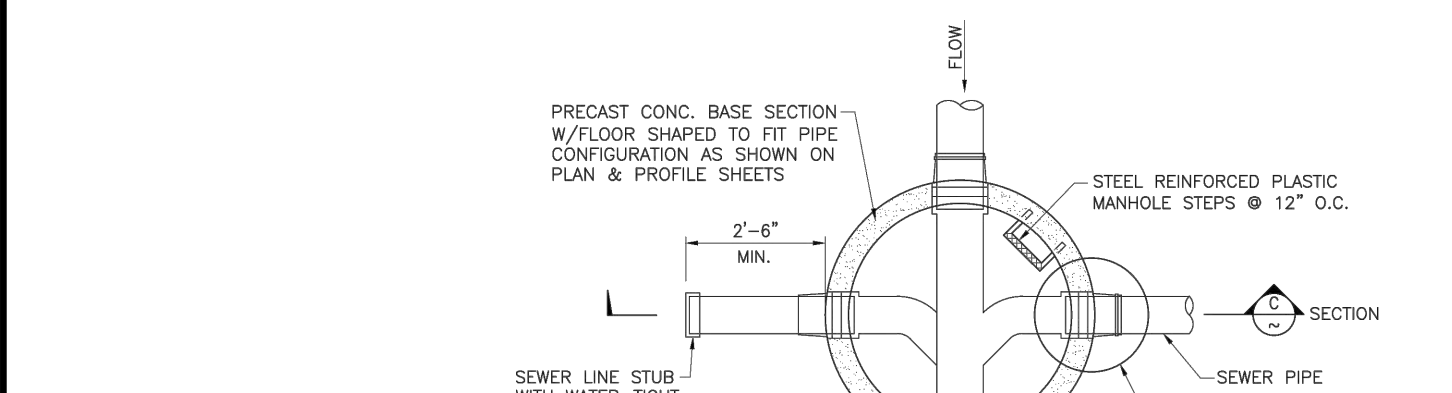
DETAIL-B
TYPE-A CURB AND GUTTER & 4'-0" WATERWAY
(SEE APWA PLAN NO. 205.1 & 211)



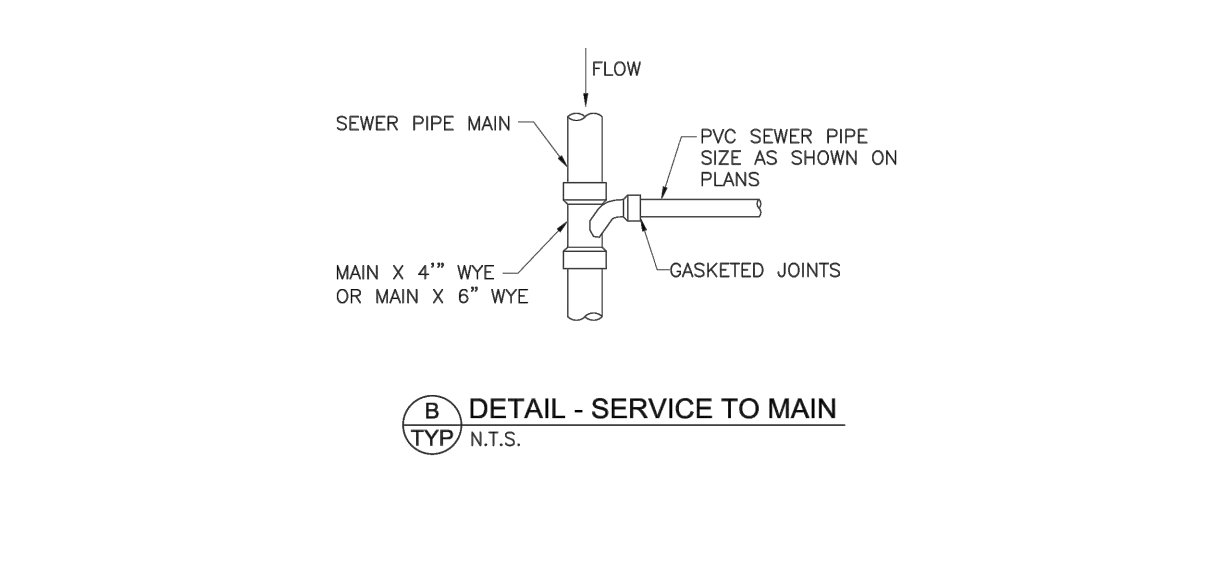
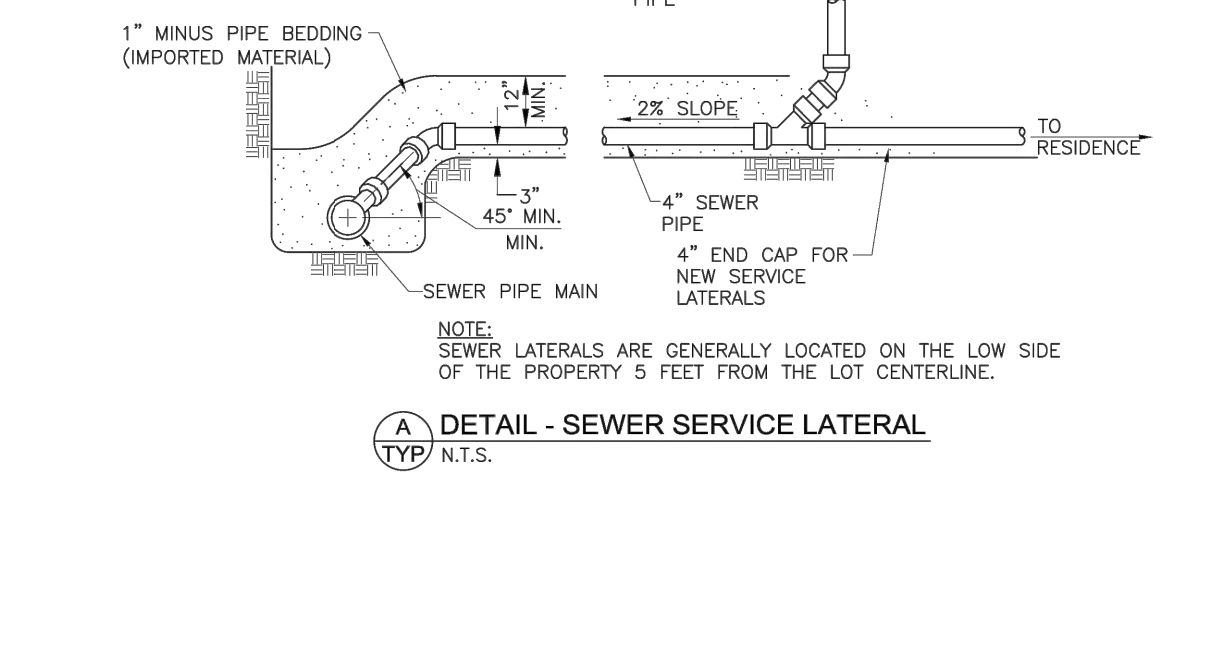
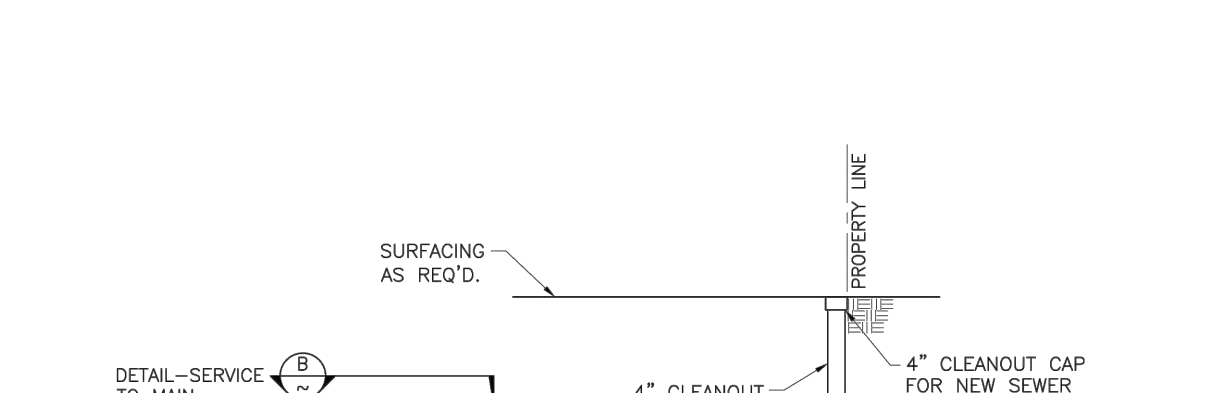
DETAIL-C
CONCRETE SIDEWALK
(SEE APWA PLAN NO. 231)



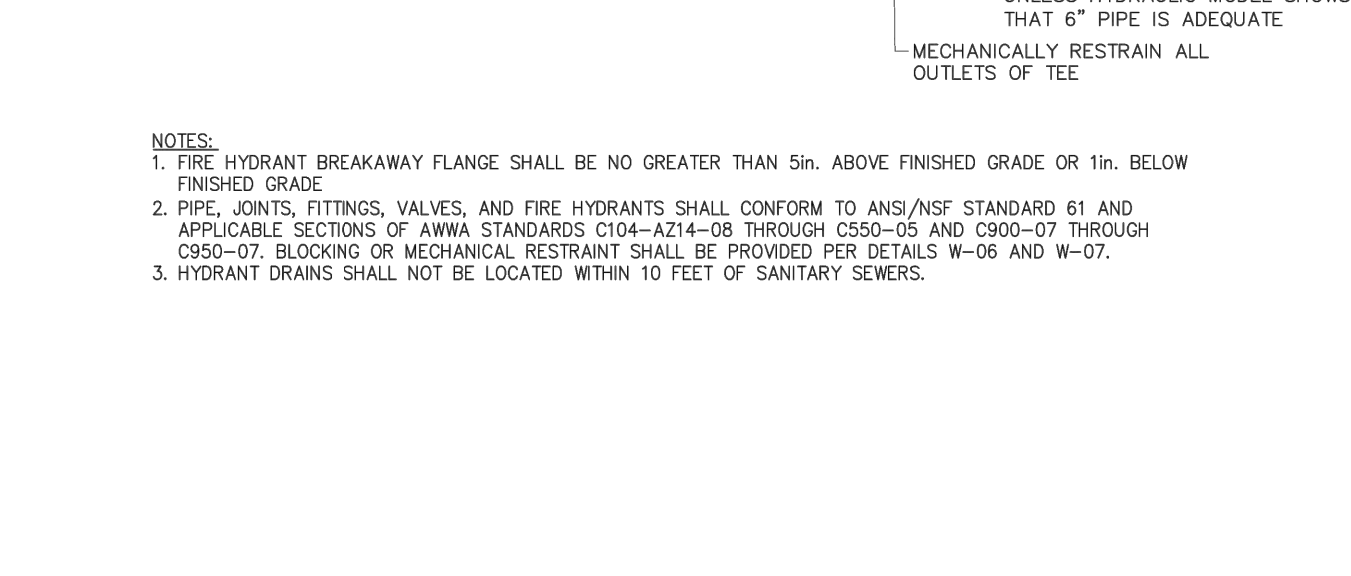
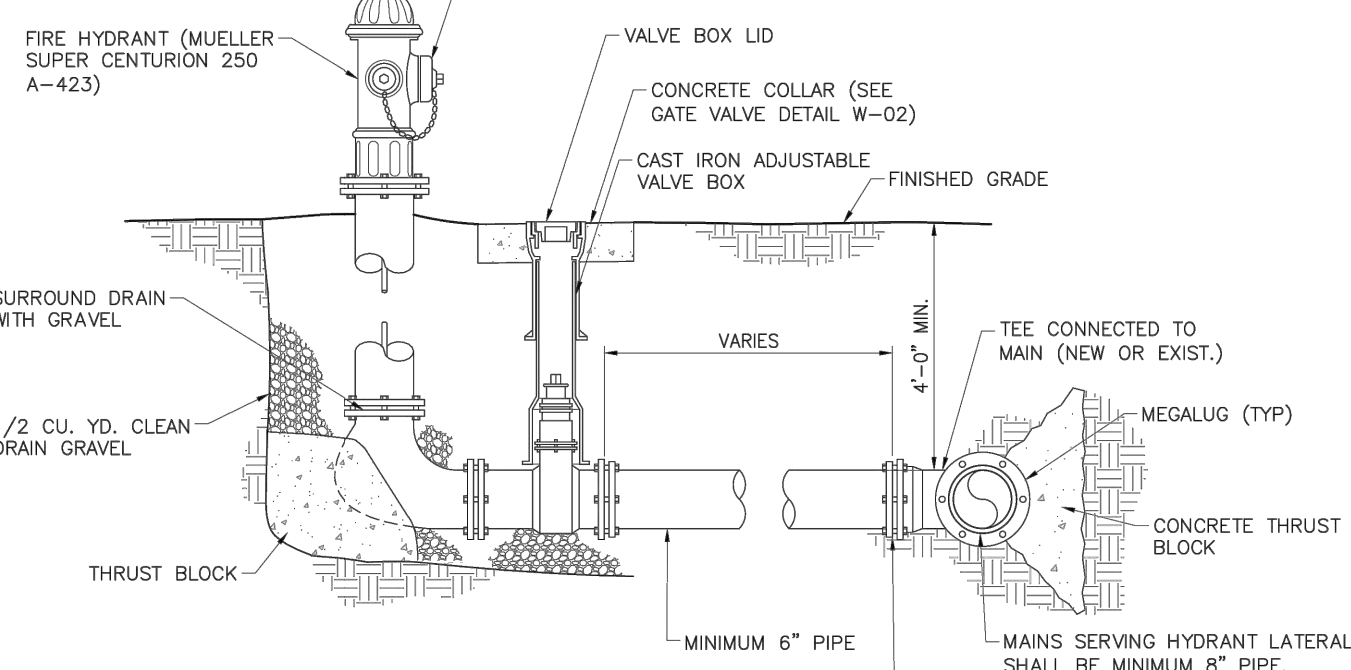
DETAIL-D
PIPE BEDDING
(SEE APWA PLAN NO. 382)



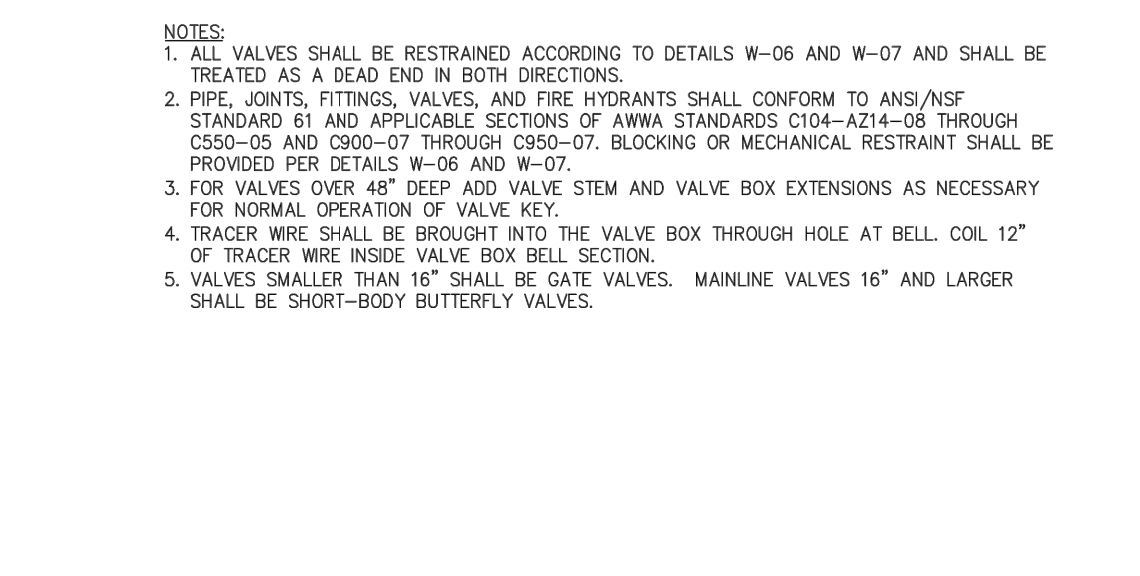
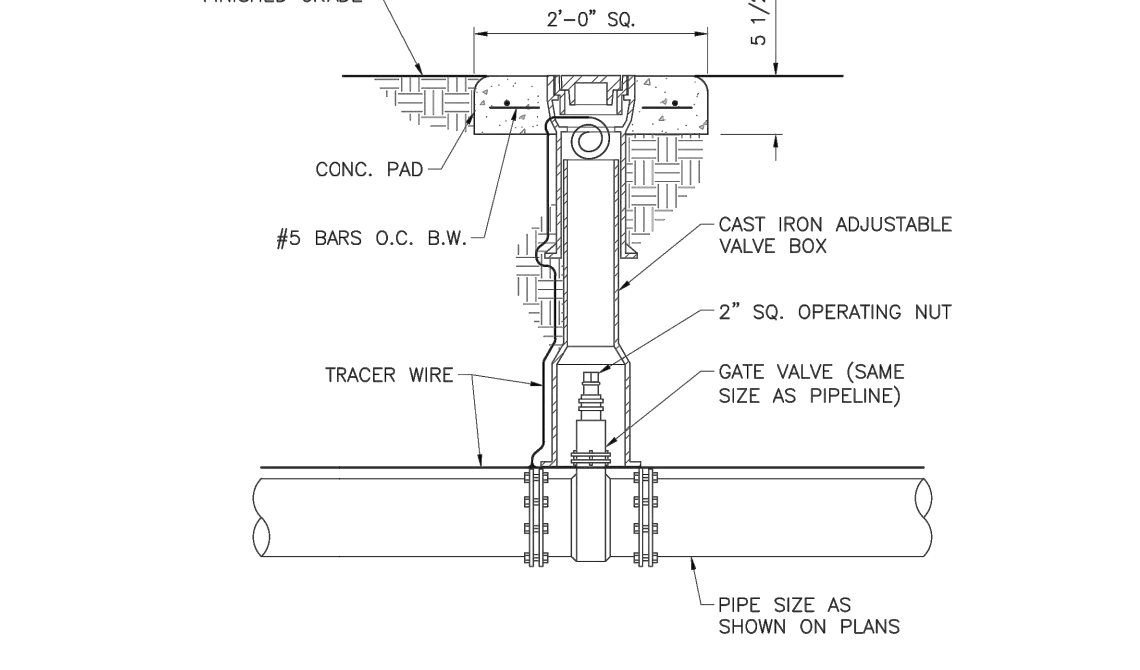
DETAIL-E
SANITARY SEWER STANDARD MANHOLE
(SEE GWSSA DETAIL S-01)



DETAIL-F
SANITARY SEWER - STANDARD SERVICE CONNECTION
(SEE GWSSA DETAIL S-03)



DETAIL-G
WATER - FIRE HYDRANT
(SEE GWSSA DETAIL W-01)



DETAIL-H
WATER - GATE VALVE
(SEE GWSSA DETAIL W-02)

| | | | |
|-----|-------------|------|----------|
| NO. | DESCRIPTION | DATE | APPROVED |
| | | | |
| | | | |
| | | | |
| | | | |

| | |
|--------------|------------|
| ORIG. DATE: | 12-1-17 |
| SURVEY BY: | RED DESERT |
| DRAWN BY: | TC/LC |
| DESIGNED BY: | TC |
| CHECKED BY: | RLK |
| SCALE: | |

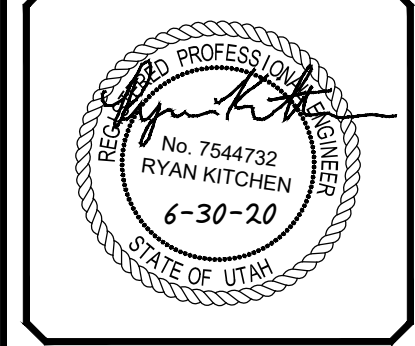
PEPG CONSULTING LLC
 9270 SOUTH 300 WEST • SANDY, UT 84070
 PHONE: (801) 562-2521 • FAX: (801) 562-2551

CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT
 GEOTECHNICAL • MATERIALS TESTING • INSPECTIONS

VIEWGATE TERRACE
APPX. 1250 SOUTH HIGHWAY 191
TYPICAL SECTIONS & DETAILS

JUNE 30, 2020
 PROJECT NUMBER: 12911710
 DWG. 09-DETAIL-01
 DRAWING FILE: LAST REVISION

MOAB CITY



SHEET NO. **C9.0**



Mila Dunbar-Irwin <mdunbarirwin@grandcountyutah.net>

DRT Follow-up comments for View Gate Terrace HDHO Phase 2

Dave Dillman <Dave@horrocks.com>

Wed, Aug 19, 2020 at 1:47 PM

To: Mila Dunbar-Irwin <mdunbarirwin@grandcountyutah.net>, Bill Hulse <bhulse@grandcountyutah.net>, Bill Jackson <bjackson@grandcountyutah.net>, Brandon McGuffee <bmcguffeemoabfire@gmail.com>, Gary Lawley <gary.lawley@rockymountainpower.net>, Orion Rogers <orogers@utah.gov>, "rseeley@utah.gov" <rseeley@utah.gov>, TJ Brewer <moabfire1@gmail.com>

1. Grand County storm drain easements are not shown through lot 1a.
2. Still concerned that the existing ground water and springs have not been adequately addressed. In the area around the top building the geotechnical report shows groundwater encountered between 7-10 feet the plan shows a max cut of 14.2'. This cut would intercept the groundwater. A drain is not shown in this location.
3. There is an existing flowing spring near the east building. I cannot see any provisions for capturing/diverting this flow.
4. In the DRT notes we said Bill Loughlin would review the groundwater and spring issues. This review has not happened.
5. I need to see the drainage easements plotted on the construction documents. It appears that the drainage easement is very close to or overlapping on the east building.
6. I cannot locate a Drainage Report that reflects this Phase 2? Do we have one?
7. Plans do not reflect widening of existing roadway by the hotel. i.e curb and gutter width, removal etc.

David H. Dillman, P.E.

Principal



2162 W. Grove Parkway, Suite 400 | Pleasant Grove, Utah 84062

Work 801 763 5142 | **Fax** 801 763 5101 | **Mobile** 801 376 7330

Email dave@horrocks.com www.horrocks.com

From: Mila Dunbar-Irwin <mdunbarirwin@grandcountyutah.net>

Sent: Wednesday, August 19, 2020 12:30 PM

To: Bill Hulse <bhulse@grandcountyutah.net>; Bill Jackson <bjackson@grandcountyutah.net>; Brandon McGuffee <bmcguffeemoabfire@gmail.com>; Dave Dillman <Dave@horrocks.com>; Gary Lawley <gary.lawley@rockymountainpower.net>; Orion Rogers <orogers@utah.gov>; rseeley@utah.gov; TJ Brewer <moabfire1@gmail.com>

Subject: Re: DRT Follow-up comments for View Gate Terrace HDHO Phase 2

Please, if you could, tell me by the **END OF TODAY** if you have any comments on this preliminary plat. We are planning to include it in the Planning Commission meeting on 8/24, and the packet is due by tomorrow at noon.

[Quoted text hidden]

[Quoted text hidden]



Grand Water & Sewer Service Agency

3025 E Spanish Trail Rd. PO Box 1046 Moab, Utah 84532

435-259-8121 telephone 435-259-8122 fax

PRELIMINARY

APPLICATION FOR WATER AND/OR SEWER SERVICE AVAILABILITY

Date: May 12, 2020

Property Owner: Viewgate Development

Mailing Address: 1248 S Hwy 191

City: Moab State: Utah Zip: 84532

Telephone: 208-860-9370

E-mail: williamahansen87@gmail.com

Contact Person (if different): _____

Contact Phone: _____

Service Address: none yet

Parcel Number: _____

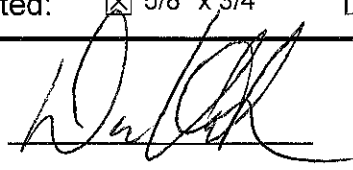
Number of Units: 122

Requested Services: Water & Sewer Water Only Sewer Only

Project Type: Residential Commercial Industrial

Type of Business: _____

Meter Size Requested: 5/8" x 3/4" 1" 1.5" 2" Other

Authorized Signature: 

Date: May 13, 2020


This approval is PRELIMINARY proof of service availability. GWSSA REQUIRES A WILL SERVE APPLICATION, FEE AND DEVELOPMENT REVIEW PRIOR TO FINAL APPROVAL.

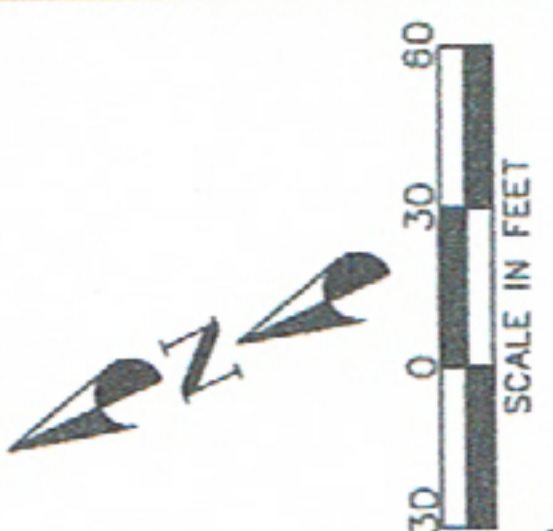
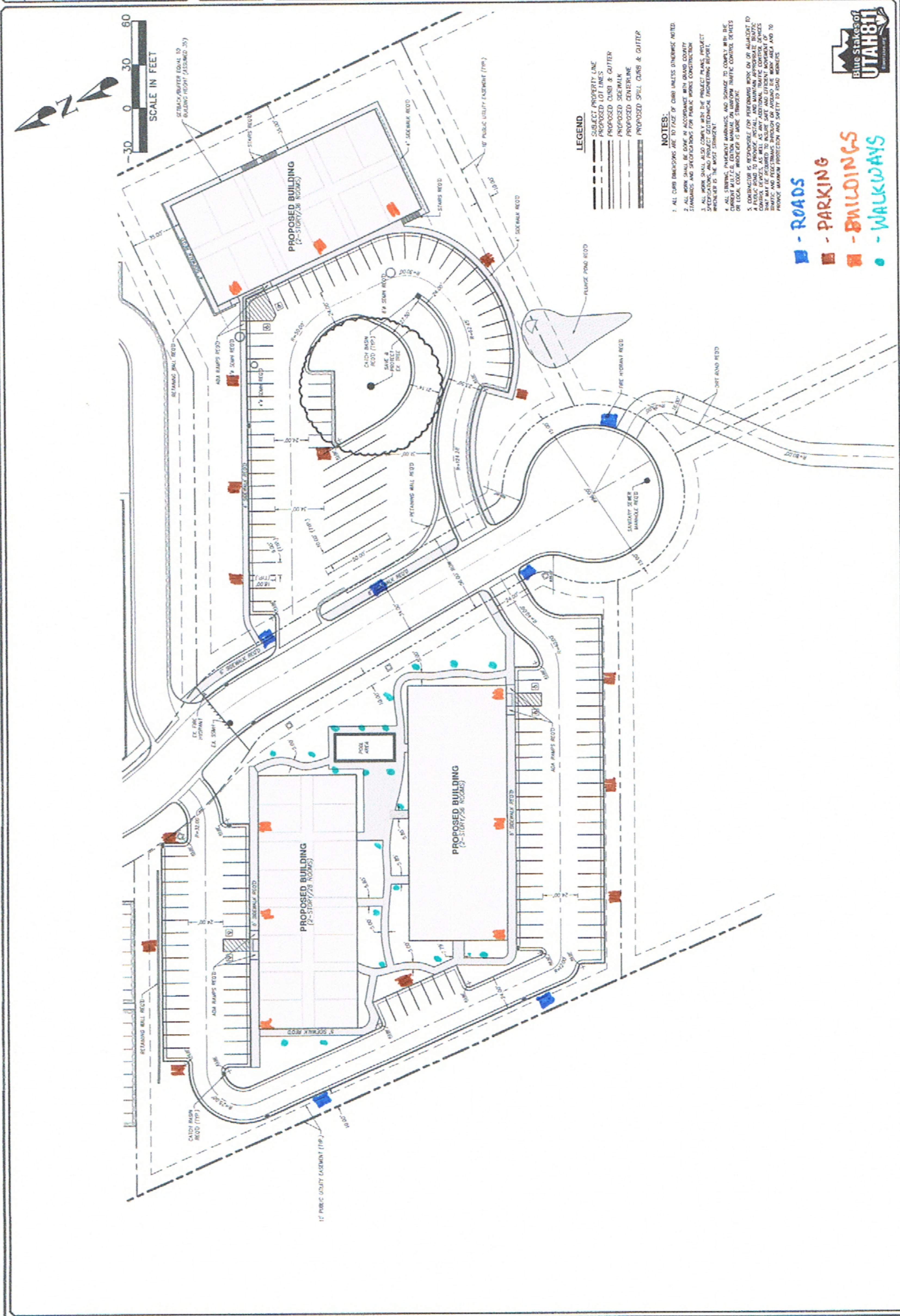
| | | | |
|-----|-------------|------|--------|
| NO. | DESCRIPTION | DATE | APP'D. |
| | | | |
| | | | |
| | | | |
| | | | |

SCALE: 1"=20'
 ORDERED BY: KFC
 DRAWN BY: MCL/MB
 CHECKED BY: MCL/MB
 DATE: 12-1-17

PEPG CONSULTING LLC
 CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT
 9670 SOUTH 300 WEST • SANDY UT 84070
 PHONE: (801) 562-2521 • FAX: (801) 562-2521

VIEWGATE TERRACE
APPX. 1260 SOUTH HIGHWAY 191
 SITE PLAN
 PROJECT NUMBER: 12611710
 DATE: JUNE 16, 2020

MOAB CITY

 SHEET NO. **C3.0**



- LEGEND**
- SUBJECT PROPERTY LINE
 - PROPOSED LOT LINES
 - PROPOSED CURB & GUTTER
 - PROPOSED SIDEWALK
 - PROPOSED CENTERLINE
 - PROPOSED SPILL CURB & GUTTER

- NOTES:**
1. ALL CURB DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH GRAND COUNTY STANDARDS AND SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 3. ALL WORK SHALL COMPLY WITH THE PROJECT PLANS, PROJECT SPECIFICATIONS, AND PROJECT GEOTECHNICAL ENGINEERING REPORT, WHICHEVER IS THE MOST STRINGENT.
 4. ALL STREETS, PAVEMENT MARKINGS, AND SIGNAGE TO COMPLY WITH THE GRAND COUNTY STANDARD SPECIFICATIONS FOR PUBLIC CONTROL DEVICES OR LOCAL CODES, WHICHEVER IS MORE STRINGENT.
 5. CONTRACTOR IS RESPONSIBLE FOR PERFORMING WORK ON OR ADJACENT TO A PUBLIC ROAD TO PROVIDE, INSTALL, AND MAINTAIN APPROPRIATE DRAINAGE, PAVEMENT MARKINGS, AND SIGNAGE TO MAINTAIN PROPER TRAFFIC FLOW AND PREVENT DAMAGE TO PUBLIC AND PRIVATE PROPERTY AND TO PROVIDE MAXIMUM PROTECTION AND SAFETY TO ROAD USERS.

Blue Stakes of UTAH811
 - ROADS
 - PARKING
 - BUILDINGS
 - WALKWAYS

Viewgate Terrace Lighting Plan
1260 S Hwy 191, Moab Utah 84532

The lighting for the Viewgate Terrace is broken down in to 4 major areas: Parking Lots, Roads, Building Lights and Walkways. Please see the following descriptions and explanations below.

PARKING LOT

The parking lots will use the same as the road, which is the E-APE 16 series recessed LED, type V, 3000k 150w with 16500 lumens. Each pole will be approximately 23 ft in design in order to comply with the county height requirement of less than 25 ft (6.6.8 C). The recessed LED light is compliant for shielded lighting (6.6.4 A), as well as being energy efficient (6.6.1 C). There will be approximately 13 lights, spaced approximately 60 ft apart for parking lot safety.

ROAD

The road will have 6 lights installed, each approximately 120 ft apart. Each light will be the LED recessed E-APE 16 series type V, 3000K 150 w 16400 lumens. Poles will be mounted at 23 ft (6.6.8 C).

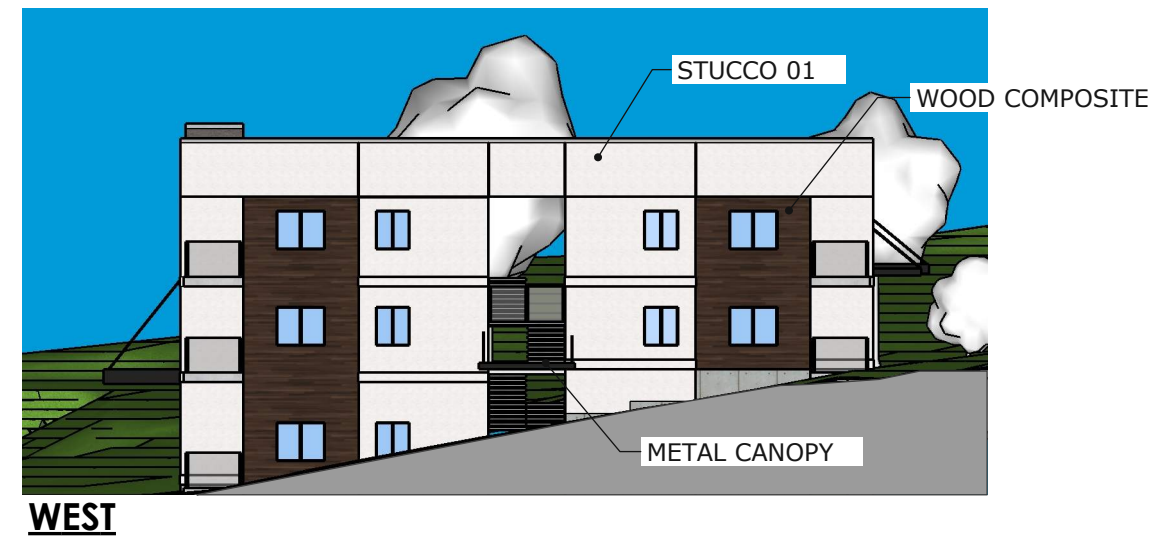
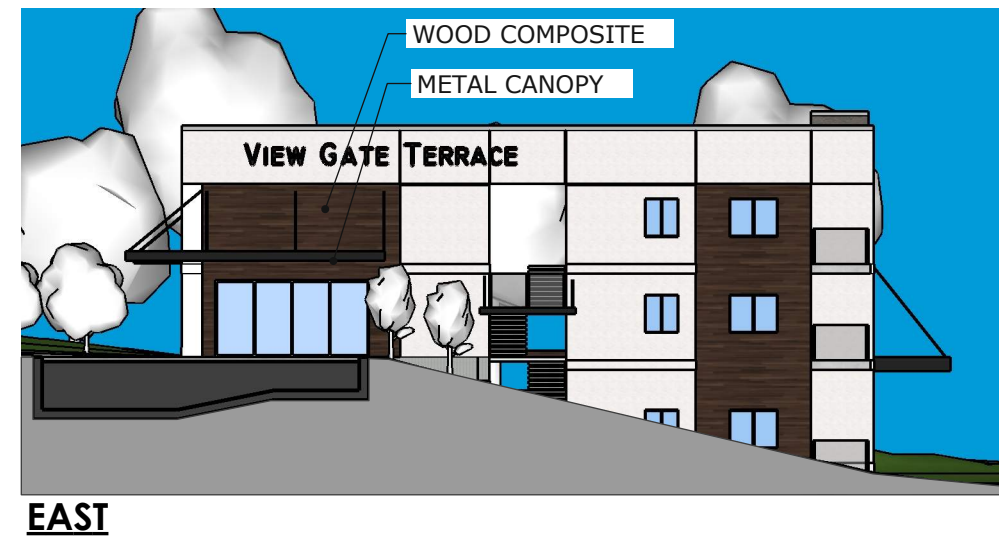
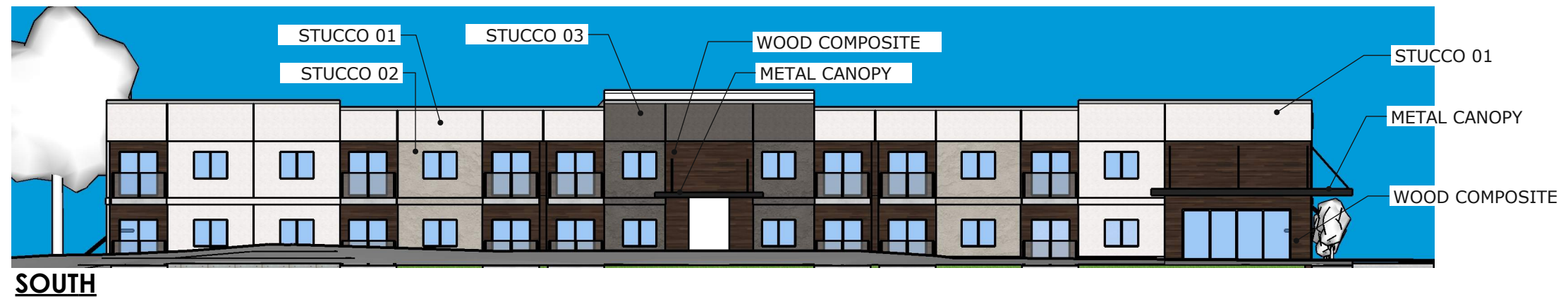
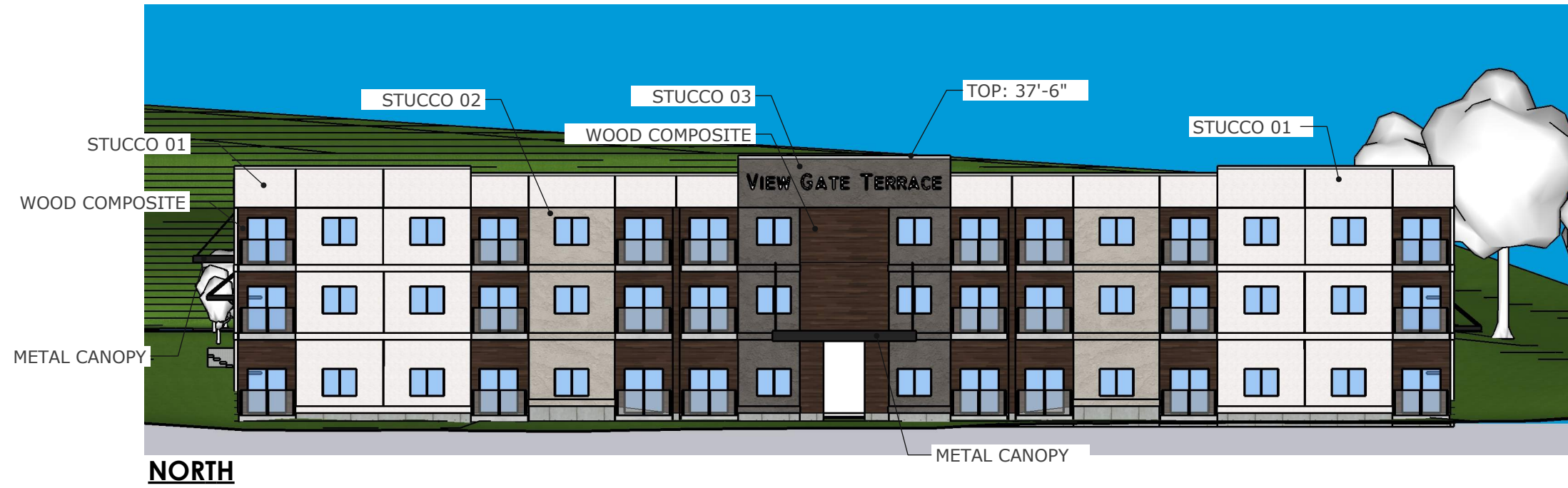
BUILDING LIGHTS

Each building will have exterior lighting that will function to illuminate both walkways and supplement the parking areas closest to the building. Where no parking lots are near the building, walkway lighting will be installed for tenant safety (see walkways). The building lights will be akin to the RAB 57 Watt LED Slim Cutoff Wall Pack 3000K 120-277V in bronze. There will be approximately 3 per building for a total of 9 lights.

WALKWAY LIGHTING

There will be approximately 15 lights total that are used to illuminate high traffic low light areas of the apartments, the majority being in between the two western buildings. These lights will be consistent with the RAB 5 Watt 18" LED Single Head Square Bollard - 3000K - 128 Lumens - 120-240V – Bronze. Additionally, this style of light will be used to illuminate the pool area. There will be approximately 6 lights used for tenant safety.

| Area | Number | Fixture Type | Wattage | Lumens | Total Lumen | Lamp Type |
|------------------------|--------|--------------|---------|--------|-------------|-----------|
| Parking Lot Lights | 13 | Recessed | 150 | 16400 | 213200 | LED |
| Building Lights | 9 | Recessed | 57 | 3739 | 33651 | LED |
| Walkway | 15 | Post | 5 | 128 | 1920 | LED |
| Roads | 6 | Recessed | 150 | 16400 | 98400 | LED |
| Pool Area | 6 | Post | 5 | 128 | 768 | LED |
| Total- Non road Lumens | | | | | 249539 | |





NE CORNER



SE CORNER

Recent Building Permit Review

(*since July 24)

6 manufactured home

5 new construction (residential)

1 construction without permit

2 solar